

**Historical Land Use Investigation of
6700-04 West Fairview Avenue
Milwaukee, Wisconsin**

File: 405-24

Prepared by:



Department of City Development

March 14, 2011

Karen C. Dettmer, P.E.
Senior Environmental Project Coordinator

Peter M. Lorenz
Environmental Intern

A. Purpose

This Historical Land Use Investigation (HLUI) of 6700-04 West Fairview Avenue, Milwaukee, Wisconsin, was requested by Matt Haessly, Real Estate Specialist, Department of City Development, City of Milwaukee. The purpose of this HLUI is to identify potential environmental conditions associated with the property. For the sake of brevity and convenience, this property will be referred to as the “project site,” unless noted otherwise.

B. Brief Description

The project site is located on a block bound by West Stevenson Street to the north, West Fairview Avenue to the south, North 67th Street to the east, and North 68th Street to the west. The project site is occupied by a 2-story mixed used building. The general area including the project site is shown on **Figure 1**, and project site dimensions are presented on **Figure 2**. An aerial photograph of the site is shown on **Figure 3**.

The following table presents relevant information regarding the project site:

Address	Tax Key #	Bldg. Size	Lot Size	Zoning*	Owner
6700-04 West Fairview Avenue	405-0815-000	7,820 ft ²	9,765 ft ²	LB2	City of Milwaukee

*LB2= Local Business Districts

C. Historical References

1. The Wright’s City Directories (1935-1990) and the Polk’s City Directories (1993-2010), reviewed in approximately five year increments indicate the following information for the project site.

Address	Date	Occupancy
6700-04 West Fairview Avenue	1935-1945	Residential / barber / tavern / bowling
	1950-1970	Residential / restaurant / tavern / bowling
	1975-1990	Residential / tavern / bowling
	2000-2010	Residential / tavern

2. Select Department of Neighborhood Services (DNS) records indicate the following information regarding the project site:

Date(s)	Comment
3/28/1929	App. for Permit- Occupancy: Barber Shop
4/9/1929	App. for Permit- Occupancy: Real Estate Office
6/21/1933	App. for Permit- Occupancy: Tavern Former occupancy: real estate office
10/23/1934	App. for Permit- Occupancy: Tavern Former occupancy: tavern
8/18/1936	App. for Permit- Install refrigeration system: bar cooler, back bar, walk-in cooler
4/29/1937	App. for Permit- Construct addition: dance hall & garage
9/16/1937	App. for Permit- Occupancy: Barber & Beauty Shop Former occupancy: same
5/23/1940	App. for Permit- Construct addition: bowling alley
6/19/1942	App. for Permit- Construct addition: one-story high to peak of present building for storage purposes

DNS Records continued:

Date(s)	Comment
2/4/1952	Building Inspection & Safety Engineering Note: Convert 2 nd Floor to 2-3 apartments *hot water gas heat *insufficient side yard
5/7/1954	App. for Permit- Replace existing boiler with new of same make and size – steam
7/13/1960	App. for Permit- Alter: Relocate rear wall to create space for installation of automatic pin setting equipment.
6/5/1967	App. for Permit- Install acoustical ceiling & wall paneling
4/15/1968	App. for Permit- Occupancy: Franco’s Pizza restaurant Former occupancy: same
10/16/1968	App. for Permit- Occupancy: Pizza Restaurant
5/13/1975	App. for Permit- Occupancy: Tavern (Terry & Tim Corp.)
6/23/1975	App. for Permit- Alter: Lower ceiling & remove partition
9/11/1976	App. for Permit- Replace two (2) burners: Two new boilers installed
6/29/1978	Order to Correct Conditions: “Discontinue all parking & remove all motor vehicles on portion of vacant land at rear zoned residential”
6/5/1986	App. for Permit- Occupancy: Tavern/Bowling Alley
9/11/1989	App. for Permit- BOZA Occupancy: Tavern & Bowling Alley
1/17/1990	App. for Permit- Alter: Replace front & side windows/entrances
5/29/1990	App. for Permit- Install range hood exhaust system
8/23/2006	Order to Correct: Stop paving cars or trailers on unpaved surfaces
10/20/2006	Order to Correct: Stop paving cars or trailers on unpaved surfaces
10/20/2006	Order to Correct: Remove and dispose of all debris, junk, etc.
3/6/2007	App. for Permit- Occupancy: Tavern
3/18/2008	Order to Correct: Remove and dispose of all debris, junk, etc.
4/6/2009	Order to Correct: Remove and dispose of all debris, junk, etc.
7/9/2010	Register vacant building with DNS

D. Sanborn Maps

Sanborn Fire Insurance Maps indicate the following information regarding the project site:

- a. A 1910 (*with updates through 1927*) Sanborn Fire Insurance Map shows the project site occupied by one commercial building with two unlabeled stores. Areas surrounding the project site is generally commercial and residential (**Figure 4**).
- b. A 1910 (*with updates through 1951*) Sanborn Fire Insurance Map shows the project site occupied by the commercial building with two stores and a one-story addition labeled “bowling alley” to the rear (north) of the stores. An auto garage and unlabeled addition is identified on project site north of the bowling alley. Land uses of areas surrounding the project site are generally the same as the previous map. One building to the west at 6718 W. Fairview Avenue is labeled “Paints” (**Figure 5**).
- c. A 1910 (*with updates through 1969*) Sanborn Fire Insurance Map was not available for the area including the project site.

E. Environmental Records

1. The Wisconsin Department of Natural Resources (WDNR), Bureau of Remediation and Redevelopment Tracking System (BRRTS) does not include listings for the project site.
2. The Wisconsin Department of Commerce (DCOM) does not include listings for the project site.
3. According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM), the project site is not located in a floodplain.
4. According to the Southeastern Wisconsin Regional Planning Commission's (SEWRPC) Wisconsin Wetlands Inventory, wetlands are not identified within the project site. In addition, according to SEWRPC, the project site is not located within an environmental corridor.

F. Project Site Inspection

On February 7, 2011 City staff conducted an inspection of the project site. The building was inaccessible during this visit and a second inspection was made March 10, 2011. A photographic log of the project site is included as **Attachment A**.

The project site is occupied by a two-story masonry building in a primarily residential area. Mixed use buildings adjacent west are occupied by restaurants, taverns, unidentified businesses and residential apartments. The building formerly housed a restaurant and tavern on the first floor and residential apartments on the second floor (Photo 1). A one story addition in the rear has a garage door entry fronting Stevenson Avenue and a smaller garage door fronting 67th Street (Photos 2 & 3). The building occupies the majority of the project site and small paved area is located near the garage door along Stevenson Avenue. Inspection of other exterior conditions within and near the project site were limited due to snow cover.

Inspection of the 1st floor interior revealed conditions typical to a tavern and restaurant including bar, kitchen area, tables and arcade games. To the rear of the main rooms was a storage room separated into two areas. One storage area had unfinished floors with exposed insulation that appeared to be typical fiberglass material (Photos 4 & 5). The two rooms connected at the rear near the garage doors and a cinder block ledge approximately 2-feet tall (Photo 6). The storage rooms were sparsely occupied with furniture, construction materials and other general debris such as clothing, household appliances, and garbage.

The basement of the project site includes several rooms occupied by equipment and supplies typical to a tavern and restaurant such as food handling and cooking equipment, cases of wine and liqueur, beer kegs, soft drink canisters, beverage pumping equipment, pressurized carbon dioxide cylinders, coolers and related materials (Photo 7). Standing water was identified in a utility room but appears to be due to rainwater infiltrating through the foundation (Photo 8). Several gas fired furnaces and water heaters were identified within the basement and first floor of the project site (Photo 9). City staff identified pressurized canisters of "Refrigerant 12" which appears to be used for maintenance of the coolers (Photo 10). One small area of the basement floor was damaged and exposed under the concrete slab (Photo 11).

The 2nd floor of the project site is occupied by two residential apartment units. The units were vacant and clear of debris or storage. Staff did not identify any environmental concerns within the 2nd floor areas.

Historic Land Use Investigation
6700-04 West Fairview Avenue, Milwaukee, WI

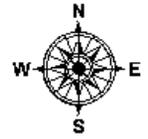
G. Findings and Conclusion

This Historic Land Use Investigation did not reveal environmental concerns warranting a Phase II Environmental Site Assessment. However, it is recommended that refrigerants be disposed or recycled properly.

KCD/PML
City of Milwaukee
3/14/2011

FIGURE 3
AERIAL PHOTOGRAPH

6700-04 West Fairview Avenue, Milwaukee, WI



Project Site



Project Site

FIGURE 4
1910 Sanborn Fire Insurance Map
(with updates through 1927)
6700-04 West Fairview Avenue, Milwaukee, WI

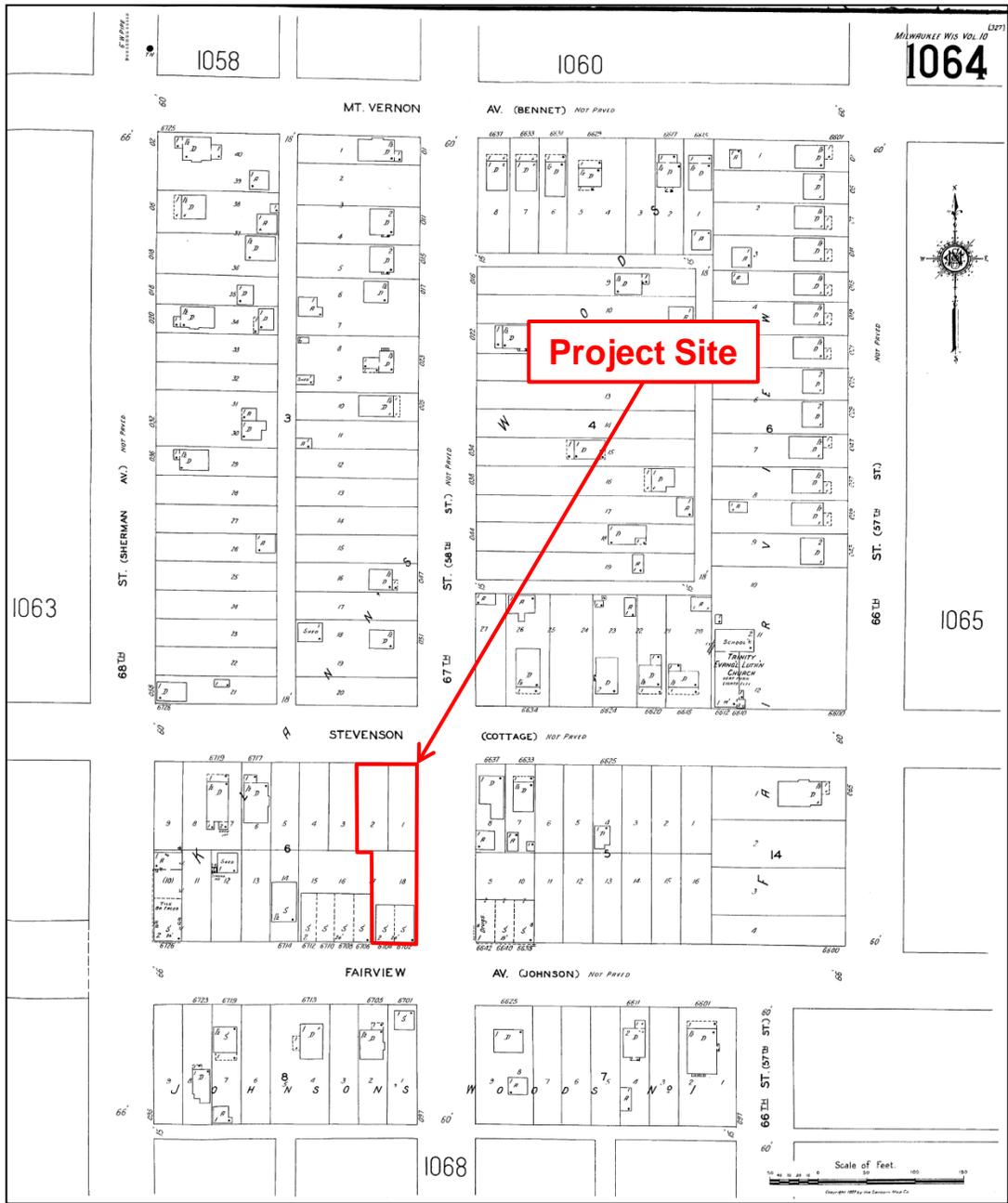
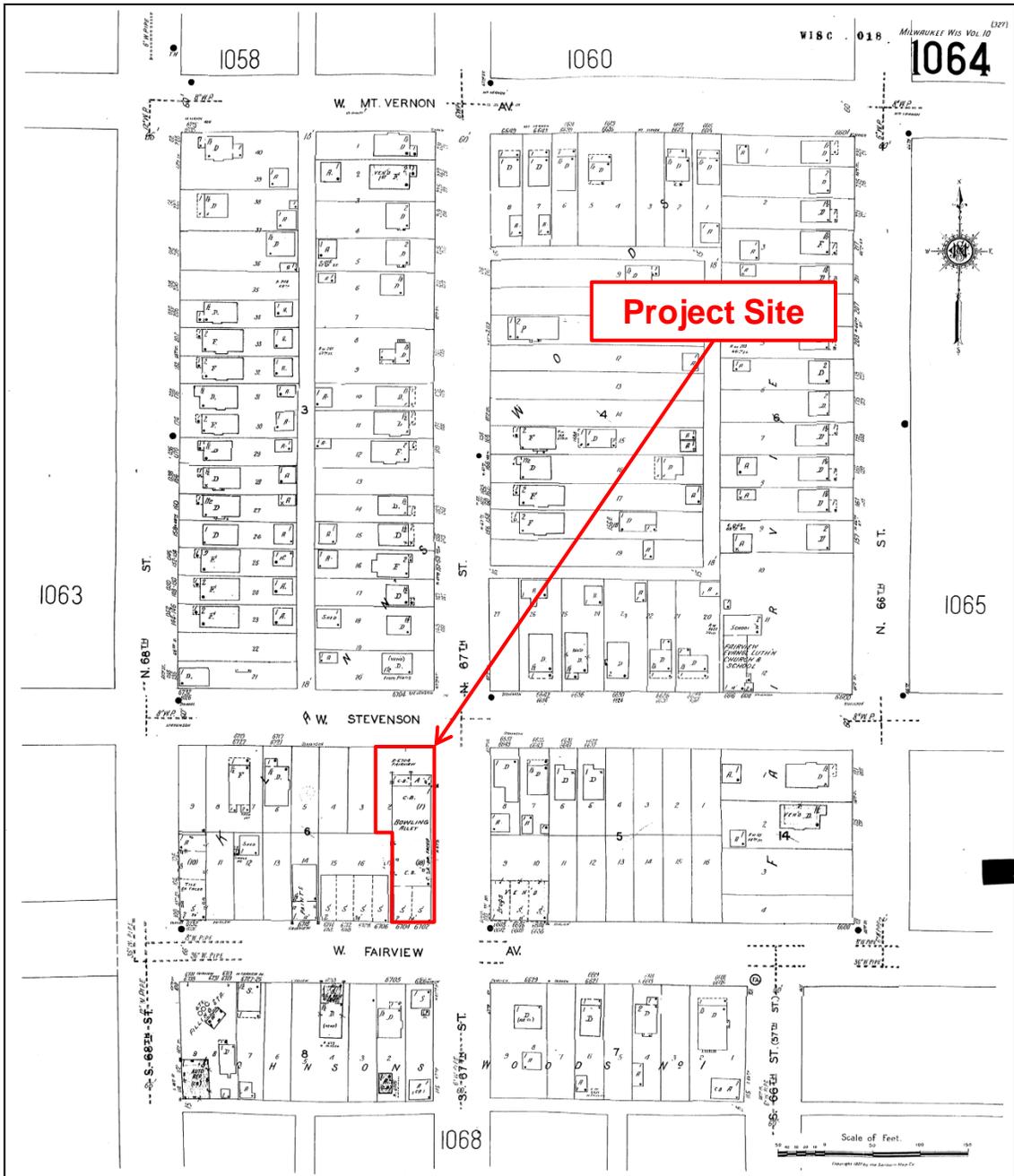


FIGURE 5
1910 Sanborn Fire Insurance Map
(with updates through 1951)
6700-04 West Fairview Avenue, Milwaukee, WI



ATTACHMENT A
Site Photographs
6700-04 West Fairview Avenue, Milwaukee, WI



Photo 1: View of Project Site facing northwest from 67th and Fairview Avenue



Photo 2: View of Project Site rear facing southwest from 67th and Stevenson Avenue



Photo 3: View of Project Site rear facing southeast from Stevenson Avenue



Photo 4: View of 1st Floor rear storage room general conditions



Photo 5: First floor rear storage room general conditions



Photo 6: First floor storage area near rear garage door



Photo 7: Basement storage area near bottom of stairs



Photo 8: Basement utility room with standing water and drain



Photo 9: Gas water heaters and furnace in basement utility room



Photo 10: Refrigerant 12 stored in basement corner

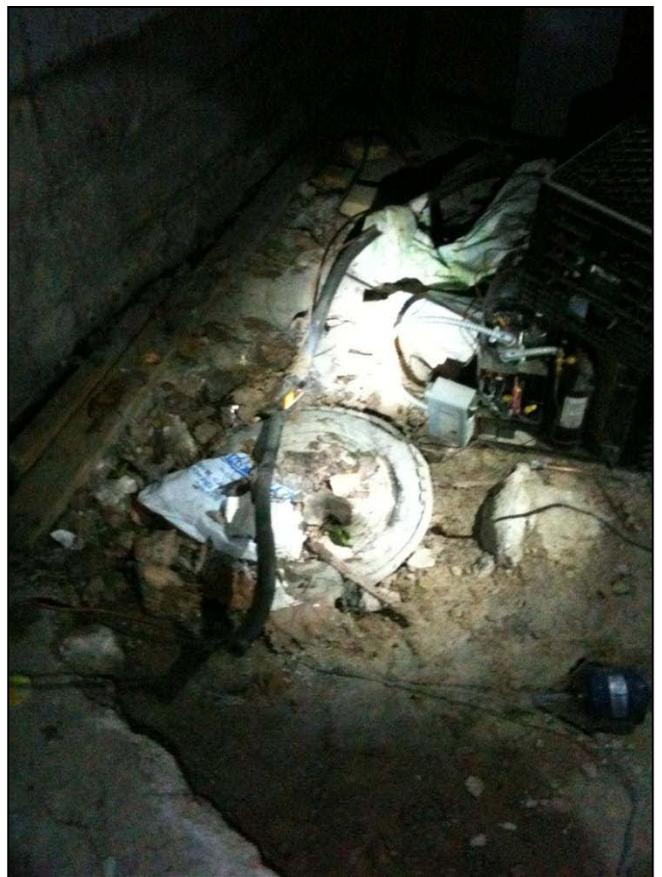


Photo 11: Damaged concrete basement floor