

LEGEND

BASKETBALL HOOP (BH)	LIGHT POLE	ABBREVIATIONS	LINE TYPES (CONT.)
BENCHMARK (BM)	MAIL BOX (MB)	FL FLOW LINE	METAL FENCE
BOLLARD (BO)	MANHOLE (MH)	IE INVERT ELEVATION	WOOD FENCE
BUSH, SHRUB, ETC.	MONITORING WELL (MW)	MLP METAL LIGHT POLE	GUARD RAIL
CATCH BASIN ROUND (CB)	SIGN (TRAFFIC, ETC.)	MLP WOOD LIGHT POLE	BURIED CABLE TV
CATCH BASIN SQUARE (CS)	SOIL BORING (SB)	MLP FIBERGLASS LIGHT POLE	BURIED COMMUNICATIONS
CLEAN OUT (CO)	TRAFFIC LIGHT (TL)	MS METAL SIGN	COMBINATION SEWER
CURB INLET (CI)	DECIDUOUS TREE (TR)	GM GAS METER	BURIED ELECTRIC
EVERGREEN TREE (ET)	UTILITY MARKER	EM ELECTRIC METER	BURIED FIBER OPTIC
FIRE HYDRANT (HYD)	UTILITY METER	EP ELECTRIC PEDESTAL	BURIED GAS SERVICE
FLAG POLE (FP)	UTILITY PEDESTAL	F.F.E. FIRST FLOOR ELEVATION	OVERHEAD UTILITY LINES
GUY WIRE (GW)	UTILITY POLE (UP)	FO FIBER OPTIC CABLE	SAN
HANDICAP	UTILITY VALVE	OV GAS VALVE	STORM SEWER
RISK PIPE (RP)	WATER WELL	WV WATER VALVE	TEL BURIED TELEPHONE
		CTP CABLE TV PEDESTAL	WM WATER MAIN / SERVICE
		WLF WETLAND FLAG	
		YL YARD LIGHT	
		LINE TYPES	
		FM	

LEGAL DESCRIPTION
 LOTS 10, 11, 12, 13, 14, 15, 16, 17 AND 18, IN BLOCK 210, IN MURRAY'S ADDITION, IN THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWN 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN, EXCEPT THE SOUTH 10 FEET OF LOT 10 FOR STREET PURPOSES.

SURVEYOR'S NOTES

- TITLE POLICY INFORMATION - COMMITMENT NO. 1278032
- FLOOD PLAIN INFORMATION - FLOOD PLAIN INFORMATION NOT AVAILABLE UNTIL JUNE 26, 2011 DUE TO WEB SITE MAINTENANCE
- ZONING INFORMATION & BASIS - CITY OF MILWAUKEE WEB SITE / LB2
- BUILDING SETBACKS - PRIMARY STREET
 FRONT SETBACK, MINIMUM / FEET NONE
 FRONT SETBACK, MAXIMUM / FEET AVERAGE
 SECONDARY STREET
 SIDE STREET SETBACK, MINIMUM / FEET NONE
 SIDE STREET SETBACK, MAXIMUM / FEET 5'
 REAR STREET SETBACK, MINIMUM / FEET NONE
 REAR STREET SETBACK, MAXIMUM / FEET NONE
- LAND AREA = 44541.49 S.F. / 1.022 ACRES
- BUILDING AREA = 14821.88 S.F.
- BUILDING HEIGHT = 13.6 +/-
- BASIS OF BEARINGS - N. CRAMER ST. ASSUMED DUE NORTH

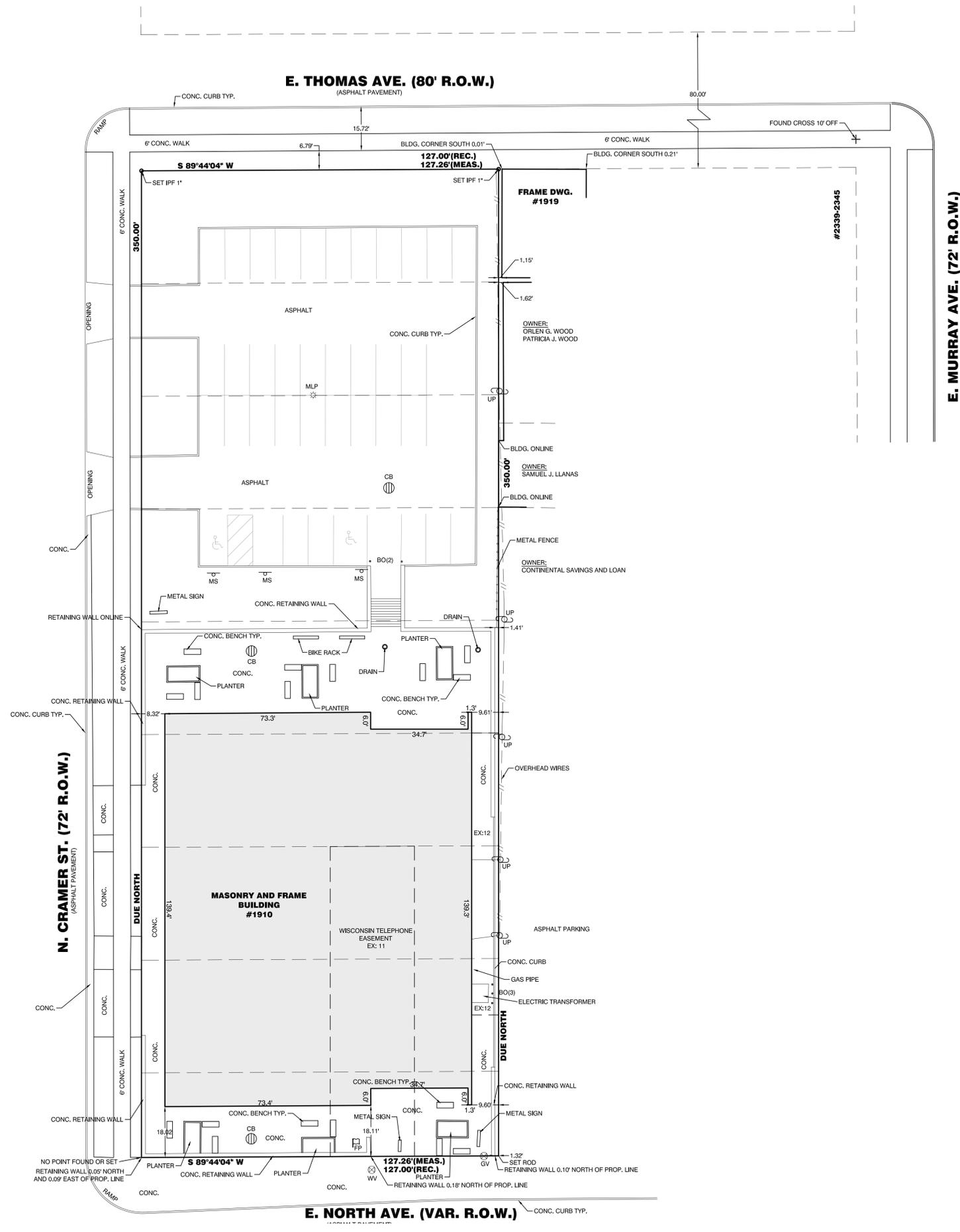
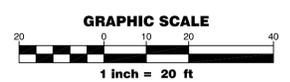
SCHEDULE B - II EXCEPTIONS

- UTILITY EASEMENT GRANTED TO WISCONSIN TELEPHONE COMPANY RECORDED AS DOCUMENT NO. 1754389, AS SHOWN ON SURVEY
- UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY RECORDED AS DOCUMENT NO. 4417187, AS SHOWN ON SURVEY

To: CHICAGO TITLE INSURANCE COMPANY, the successors and assigns of any of the foregoing and any other person who purchases, mortgages or guarantees the title thereto within one year of the date of this survey.

I hereby certify that the survey was prepared from an actual on-the-ground instrument survey of the subject premises; that the same accurately shows the location of the boundaries of the subject premises and the location of all streets, highways, alleys and public ways crossing and abutting said premises; that the dimensions of any improvements and the location thereof with respect to the boundaries are accurately shown as the same were situated on 6-21-2011; that there are no encroachments by improvements appurtenant to adjoining premises upon the subject premises, nor from the subject premises unless shown hereon; that all easements and rights of way which are appurtenant to or burden the subject premises and (j) are referred to in the title commitment number 1278035 for the subject premises dated APRIL 6, 2011; issued by CHICAGO TITLE INSURANCE COMPANY or are apparent from a visual inspection, are delineated hereon; that the subject premises are not in a 100-year interval flood plain or special flood hazard area and that, without limiting the foregoing, this survey was made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA and ACSM in 2005, and meets the accuracy requirements of an Urban Survey, as defined therein.

Mark L. Wertz S-1915
 Registered Land Surveyor



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 811 or 1-800-442-8111 / MILW. AREA 262-2181
 WIS. STATUTE 90.207(2)(3) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

ALTA/ACSM LAND TITLE SURVEY
EAST LIBRARY
 MILWAUKEE, WI

DRAWN BY: J.M.W.
 CHECKED BY: M.L.W.
 DATE: 6/21/2011
 JOB NUMBER: S11026R0AL

REVISIONS
