



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property

114 W. LLOYD ST.

Description of work

Restore exterior of house. Work will include: Restore front porch by retaining existing roof and adding new railings, posts and deck according to attached drawings. Facade restoration to include replacement or repair of roof shingles, gutters & downspouts, water table, and damaged trim and siding. New 2nd story double hung wood windows to match existing with all wood storm/screen combo units to be used on front facade. Restoration of 1st floor front windows, sills, and casing to follow original 2-window composition. Foundation to be repaired leveled and properly painted to match existing. On rear, north facade, lean-to shed will be removed and matching wood siding will be added in void. New windows and door on rear elevation to be added in rough openings, using matching double-hung window and door to match front facade. Remove window openings on east elevation and infill with matching wood siding.

Date issued

12/8/2008

PTS ID 55544 Restore front porch & facade, remove shed, fill windows

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work to be done according to attached drawings and photos using like-with-like materials. All new windows will be all wood both inside and out (no vinyl, vinyl-clad, aluminum, aluminum-clad or other substitute products allowed). New windows must match the ordinal glass sizes exactly. All exterior trim boards around windows must match originals. Standard brick molding is not allowed on the windows, as this was not original to the house. All new or replacement trim and siding will be made of smooth, clear wood. Rough-sawn wood is not acceptable as this was not part of the original design. Staff must approve a sample of the shingles before they are installed. New gutters will be half-rounds. Original soffits and fascia must be maintained or restored to their original design. A graspable handrail must be provided on the steps. A bread loaf style top rail will meet this code requirement or an auxiliary rail can be attached to the design proposed. All work must be done in a craftsman-like manner, and must be completed

within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.

A handwritten signature in blue ink, appearing to read "Paul Jakubovich", written over a horizontal line.

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Milele Coggs, Inspector Bill Richter (286-2518)



Porch to be restored using wood and must match appearance and details of submitted drawings.

Foundation to be repaired using like materials and color.

10/19/2008

Any new gutters to be half-rounds

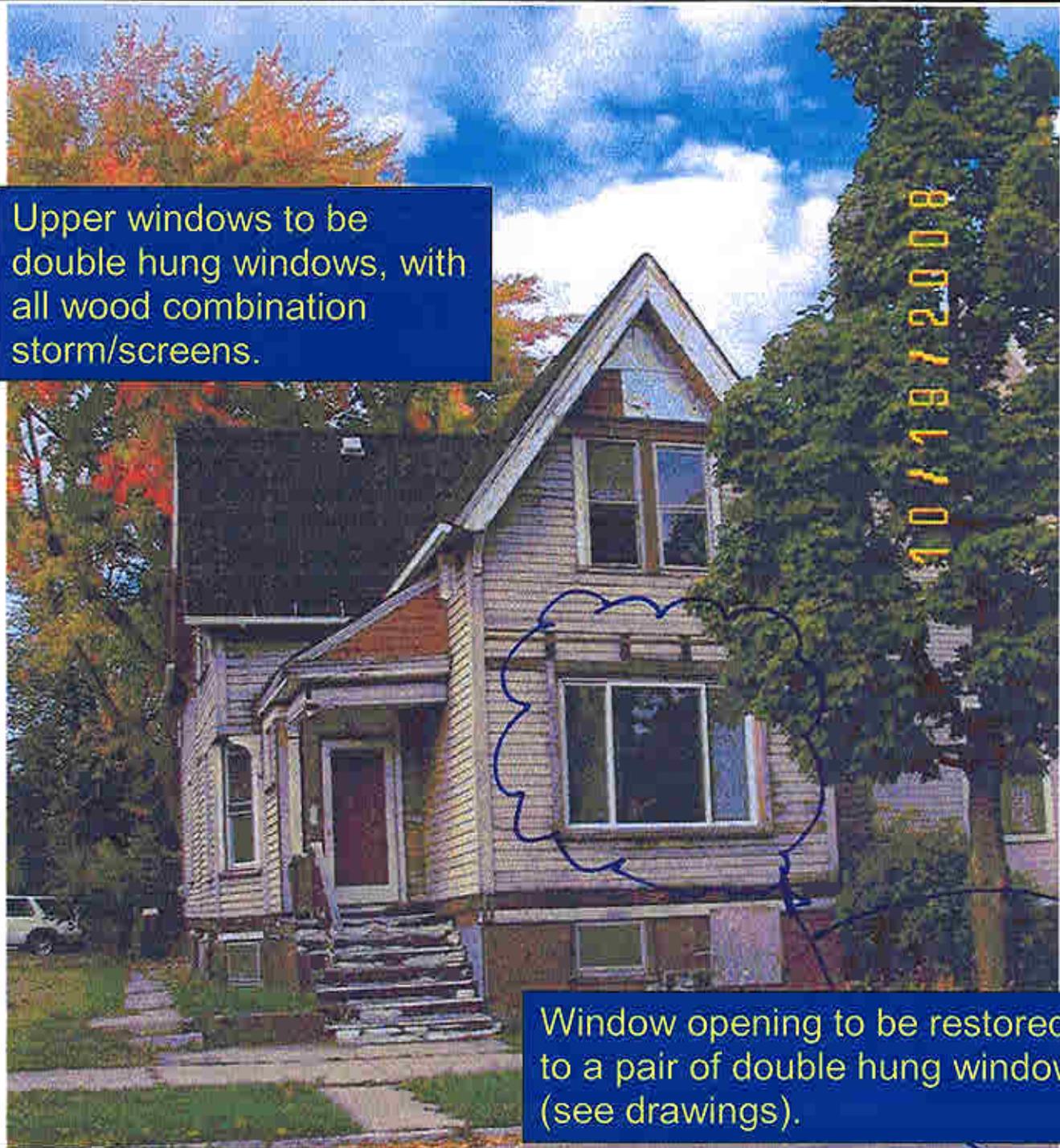
Trim to be wood and match existing

Shed to be removed and matching siding to be replaced in void.

Water table to be replaced according to attached drawings.

7 2008





Upper windows to be double hung windows, with all wood combination storm/screens.

Window opening to be restored to a pair of double hung windows (see drawings).

10/18/2008

WHOLE-HOUSE RENOVATION at 114 W. LLOYD STREET MILWAUKEE, WISCONSIN

PROPERTY DATA:

SINGLE FAMILY HOME
THREE BEDROOMS UP PLUS FIRST FLOOR GUEST ROOM
TWO BATHROOMS
FIRST FLOOR: 955 SQ. FT. (GROSS FINISHED INTERIOR*)
SECOND FLOOR: 927 SQ. FT. (GROSS FINISHED INTERIOR*)
TOTAL: 1,882 SQ. FT.

* Gross interior square footage measures finished living space
from inside face of exterior walls

FIRST ISSUE DATE:
OCTOBER 19, 2008

REVISIONS

#	DATE	DESCRIPTION

The Garret Studio, LLC
Design and Consulting
4212 N Farwell Ave.
Shorewood, WI 53211
p. 414.364.6368
f. 414.967.1922

PLANS RELEASED
FOR BIDDING
AND PERMITTING

WHOLE-HOUSE
RENOVATION at
114 W. LLOYD STREET
MILWAUKEE, WI

OWNER DATA:
ABG DEVELOPMENT
MILWAUKEE, WI

PROJECT TITLE
SHEET INDEX
PROPERTY DATA
ABBREVIATIONS

SHEET T1 OF 1

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SHEET INDEX

- T1 PROJECT TITLE, SHEET INDEX, PROJECT DATA
AND ABBREVIATIONS
- A1 FRONT/SOUTH ELEVATION
A2 SIDE/WEST ELEVATION
A3 REAR/NORTH ELEVATION
A4 SIDE/EAST ELEVATION
A5 FIRST FLOOR PLAN
A6 SECOND FLOOR PLAN
A7 PORCH AND WATER TABLE DETAILS

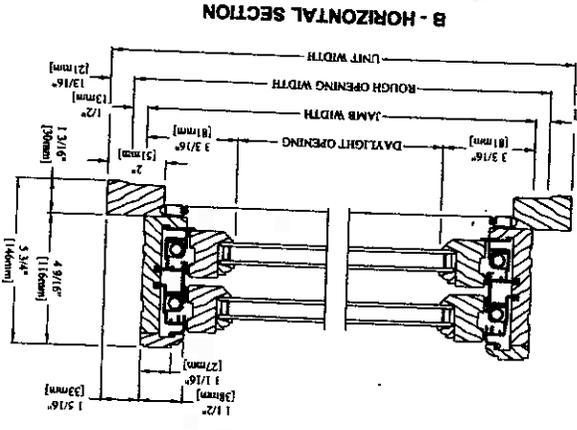
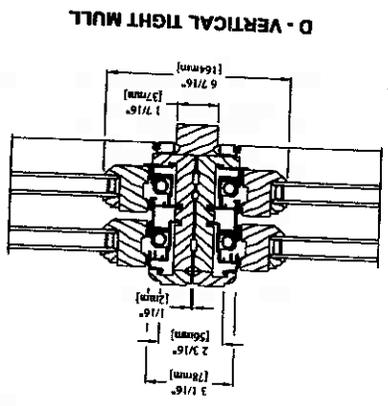
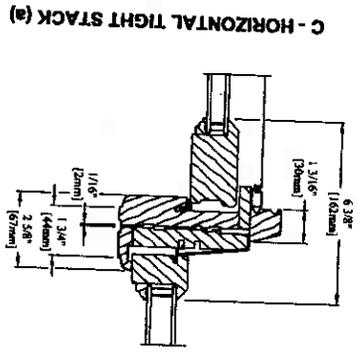
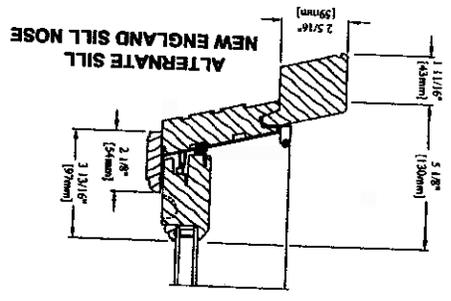
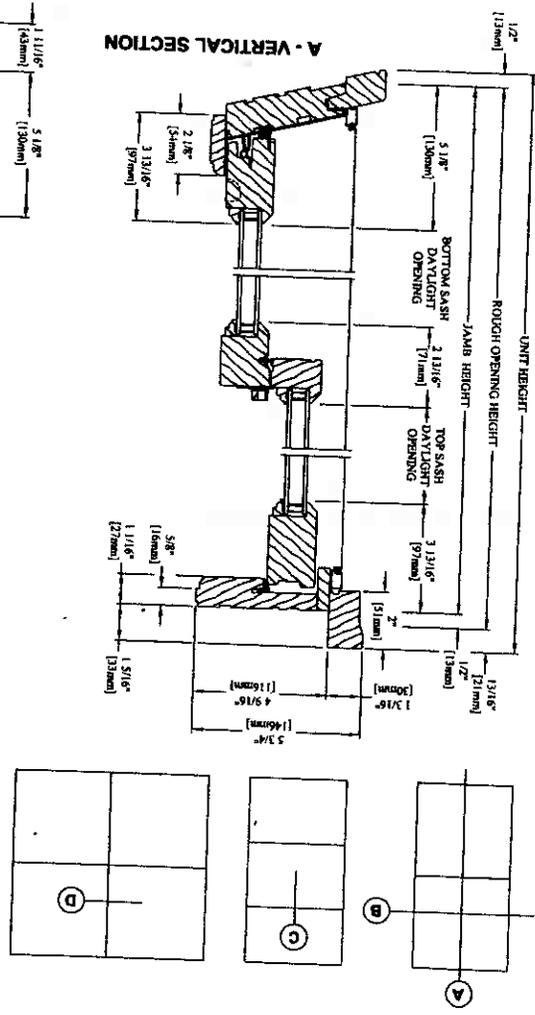
ABBREVIATIONS

Alum: Aluminum
Carp: Carpenter
Conc.: Concrete
Config: Configuration
Cont.: Continuous
Dbl: Double
DW: Dishwasher
DWO: Double Wall Oven
Ext.: Exterior
GWB: Gypsum Wall Board
HVAC: Heating Ventilation and Air Conditioning
Int.: Interior
LVL: Laminated Veneer Lumber
NEC: National Electrical Code
O.C.: On Center
O.D.: Outside Diameter
P.T.: Pressure Treated
R.O.: Rough Opening
SOT: Shower Over Tub
T&G: Tongue and Groove
TBV: To Be Verified
Typ: Typical
UDC: Uniform Dwelling Code
VB: Vapor Barrier
WIC: Walk-in Closet

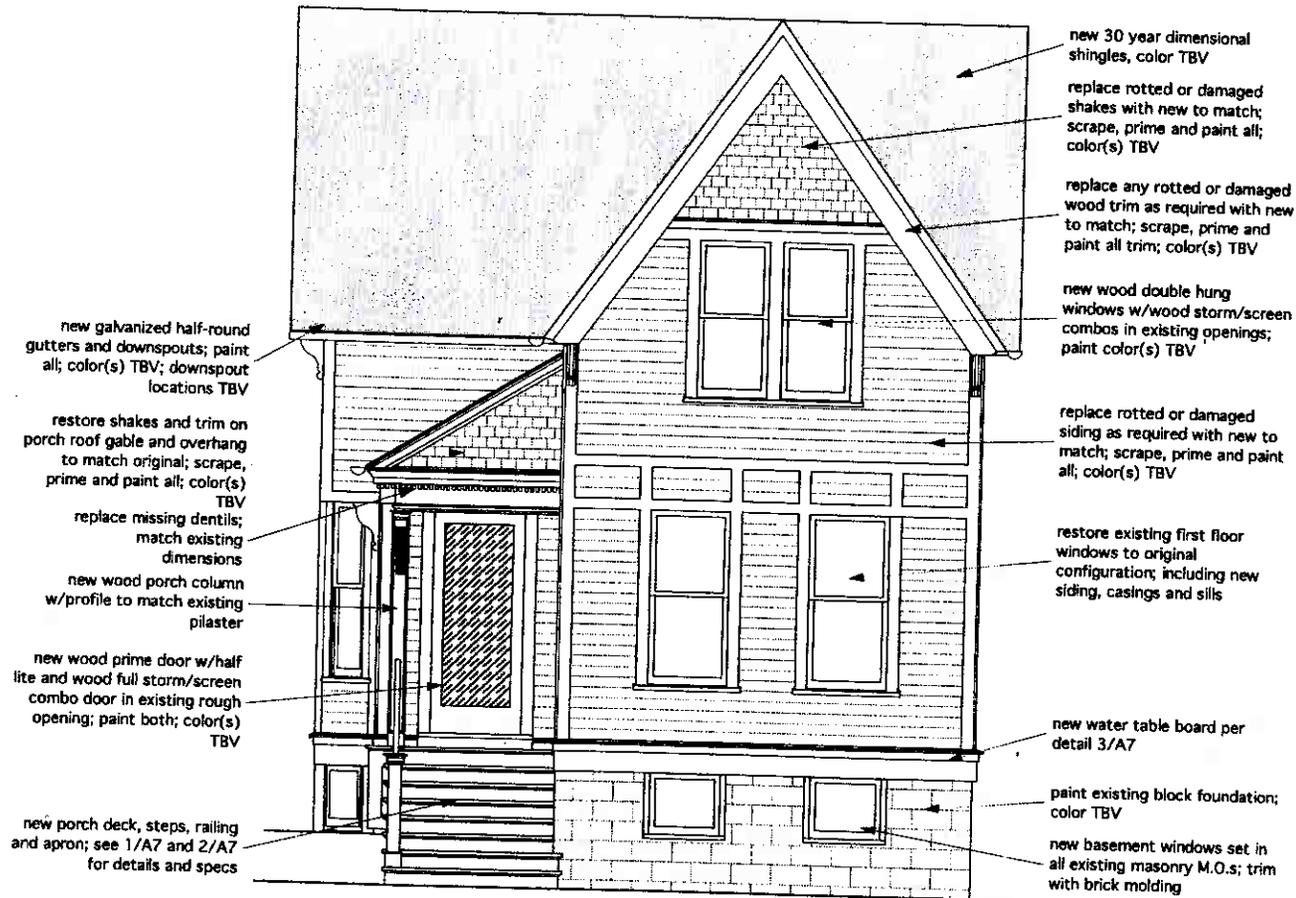


Weather Shield®
Premium Wood & Aluminum Clad Windows & Doors
WEATHER SHIELD - BRICK MOULD DOUBLE-HUNG TILT WITH FULL SCREEN (010)

SCALE: ELECTRONIC FILE IS FULL SCALE
(REVISED 8/08)



- WEATHER SHIELD RESERVES THE RIGHT, AS NECESSARY, TO CHANGE PRODUCT SPECIFICATIONS AND MATERIALS WITHOUT NOTICE.
- DIMENSIONS MAY BE ROUNDED TO THE NEAREST 1/16" (2mm).
- IMPORTANT: DIMENSIONS SHOWN ARE FOR SPECIFIED JAMB ORDERING.
- FULL SCREEN OPTION SHOWN. MUST BE SPECIFIED 1/16" (2mm) WHEN INSTALLING IN A JURISDICTION REQUIRING DESIGN PRESSURE (DP) RATED PERFORMANCE WINDOW AND DOOR PRODUCTS MUST BE INSTALLED IN THE SAME METHOD THEY WERE INSTALLED FOR TESTING. REFER TO INSTALLATION INSTRUCTIONS FOR COMPLETE DETAILS.
- A SHIM SPACE, NOT TO EXCEED 1/4" (6mm) IS REQUIRED AROUND THE SIDE JAMBS AND HEAD OF UNITS.
- WHEN INSTALLING IN A JURISDICTION REQUIRING DESIGN PRESSURE (DP) RATED PERFORMANCE WINDOW AND DOOR PRODUCTS MUST BE INSTALLED IN THE SAME METHOD THEY WERE INSTALLED FOR TESTING.
- REFER TO INSTALLATION INSTRUCTIONS FOR COMPLETE DETAILS.
- (a) DOUBLE-HUNG TILT TRANSOM STACKED ABOVE DOUBLE-HUNG TILT.



new galvanized half-round gutters and downspouts; paint all; color(s) TBV; downspout locations TBV

restore shakes and trim on porch roof gable and overhang to match original; scrape, prime and paint all; color(s) TBV

replace missing dentils; match existing dimensions

new wood porch column w/profile to match existing pilaster

new wood prime door w/half lite and wood full storm/screen combo door in existing rough opening; paint both; color(s) TBV

new porch deck, steps, railing and apron; see 1/A7 and 2/A7 for details and specs

new 30 year dimensional shingles, color TBV

replace rotted or damaged shakes with new to match; scrape, prime and paint all; color(s) TBV

replace any rotted or damaged wood trim as required with new to match; scrape, prime and paint all trim; color(s) TBV

new wood double hung windows w/wood storm/screen combos in existing openings; paint color(s) TBV

replace rotted or damaged siding as required with new to match; scrape, prime and paint all; color(s) TBV

restore existing first floor windows to original configuration; including new siding, casings and sills

new water table board per detail 3/A7

paint existing block foundation; color TBV

new basement windows set in all existing masonry M.O.s; trim with brick molding

1 SOUTH/FRONT ELEVATION
A1 Scale: 1/4" = 1'-0"

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PLANS RELEASED
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WHOLE-HOUSE
RENOVATION at
114 W. LLOYD SREET
MILWAUKEE, WI

OWNER DATA:
ABC DEVELOPMENT
MILWAUKEE, WI

SHEET CONTENTS:
FRONT ELEVATION

SHEET A1 OF 7
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NOTE: EXTERIOR DETAILS FOR WEST ELEVATION
TO MATCH FRONT ELEVATION U.N.O.

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MILWAUKEE, WI

OWNER DATA:
ABC DEVELOPMENT
MILWAUKEE, WI

SHEET CONTENTS:
WEST/SIDE ELEVATION

SHEET A2 OF 7

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1 WEST/SIDE ELEVATION
A2 Scale: 1/4" = 1'-0"

NOTE: EXTERIOR DETAILS FOR NORTH ELEVATION TO MATCH FRONT ELEVATION U.N.O.



1 NORTH/REAR ELEVATION
A3 Scale: 1/4" = 1'-0"

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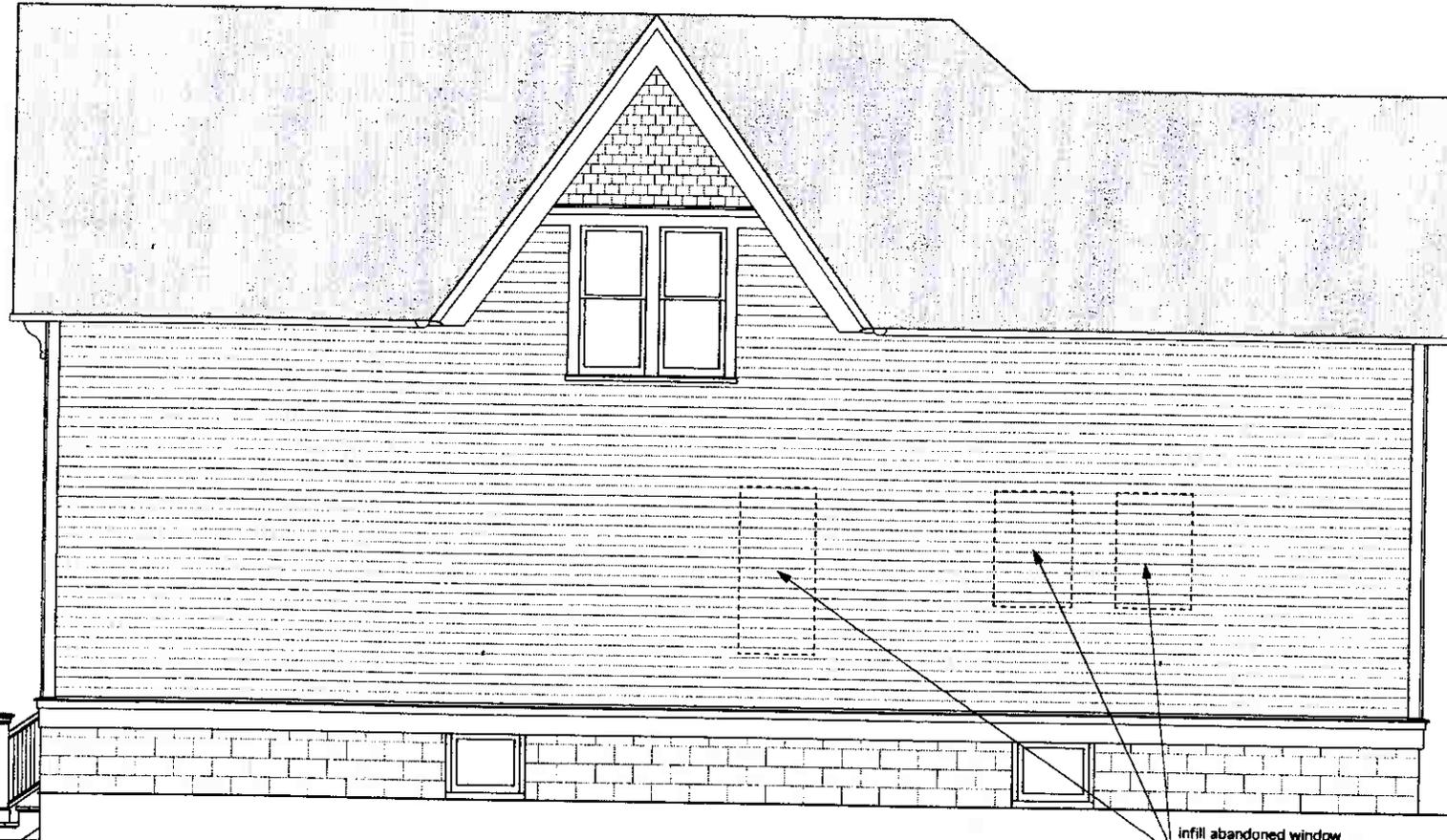
WHOLE-HOUSE
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114 W. LLOYD SREET
MILWAUKEE, WI

OWNER DATA:
ABC DEVELOPMENT
MILWAUKEE, WI

SHEET CONTENTS:
NORTH/REAR ELEVATION

SHEET A3 OF 7
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NOTE: EXTERIOR DETAILS FOR EAST ELEVATION
TO MATCH FRONT ELEVATION U.N.O.



1 EAST SIDE ELEVATION
A4 Scale: 1/4" = 1'-0"

infill abandoned window
openings; weave new siding
into existing

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WHOLE-HOUSE
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MILWAUKEE, WI

OWNER DATA:
ABQ DEVELOPMENT
MILWAUKEE, WI

SHEET CONTENTS:
EAST/SIDE ELEVATION

SHEET A4 OF 7

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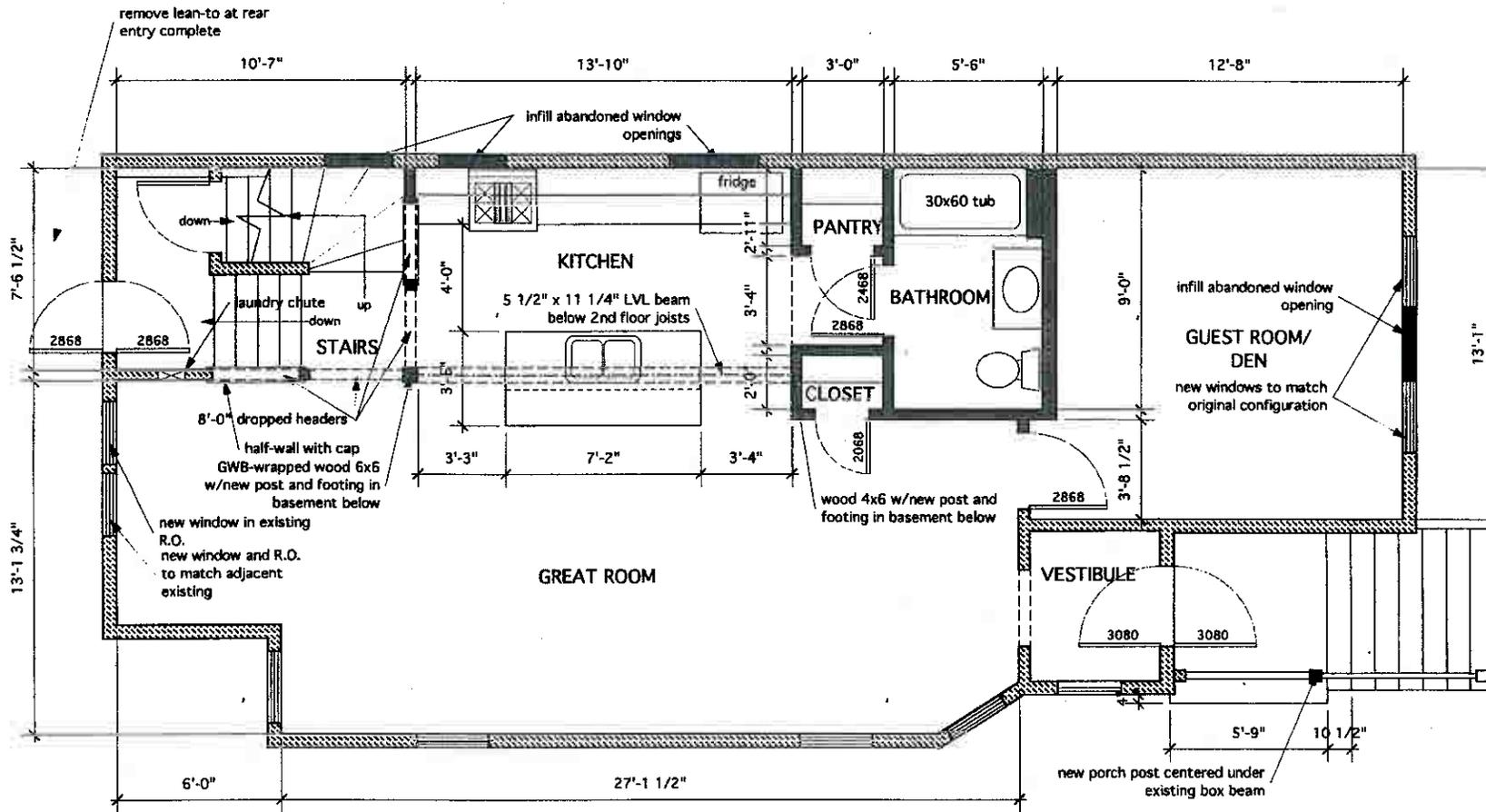
WHOLE-HOUSE
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OWNER DATA:
ABC DEVELOPMENT
MILWAUKEE, WI

SHEET CONTENTS:
FIRST FLOOR PLAN

SHEET A5 OF 7

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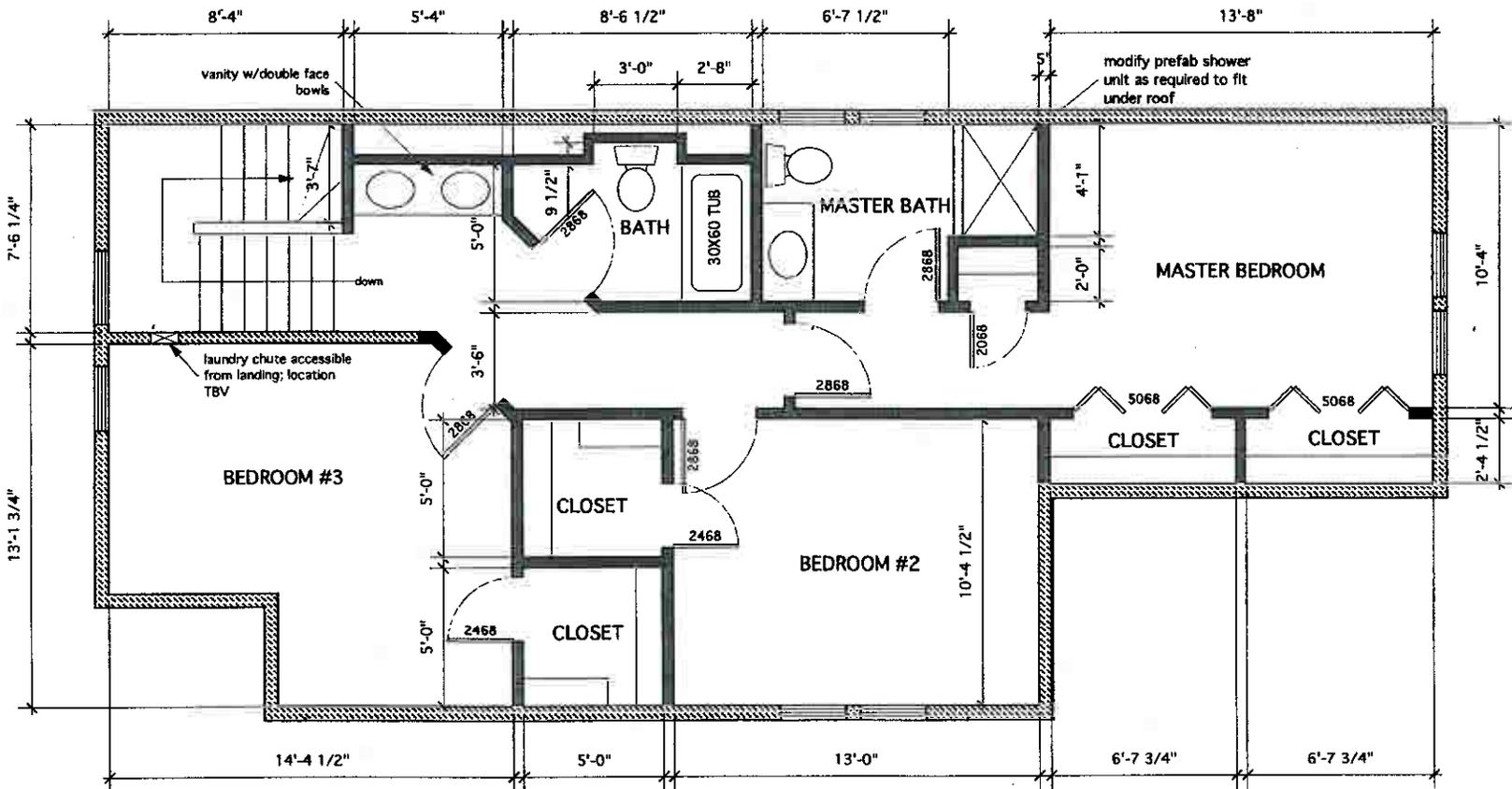
1 FIRST FLOOR PLAN
A5 Scale: 1/4" = 1'-0"

WALL KEY

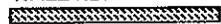
EXISTING WALLS

NEW WALLS





1 SECOND FLOOR PLAN
A6 Scale: 1/4" = 1'-0"

WALL KEY
 EXISTING WALLS
 NEW WALLS



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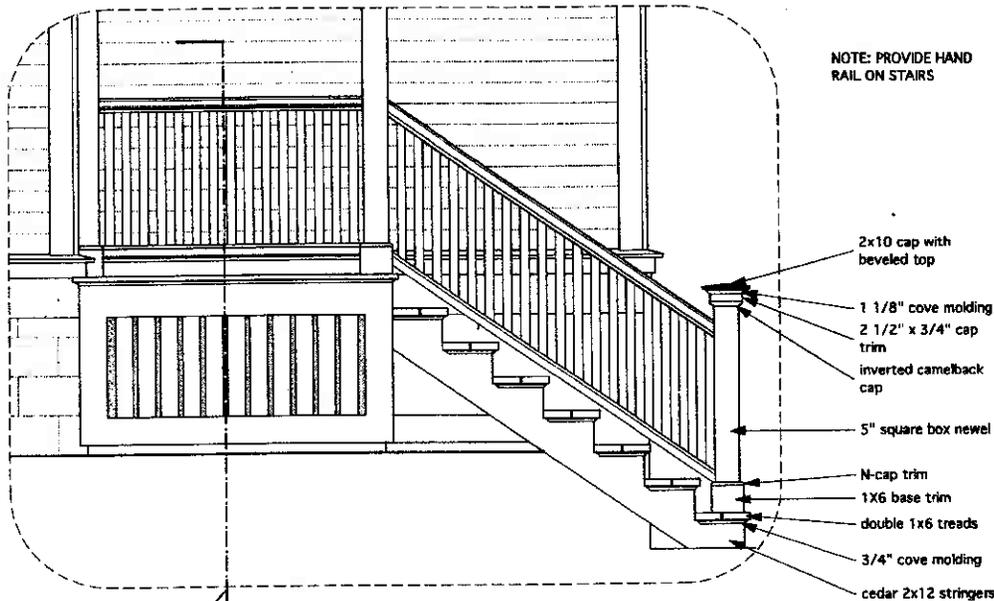
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OWNER DATA:
 ABC DEVELOPMENT
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SHEET CONTENTS:
 SECOND FLOOR PLAN

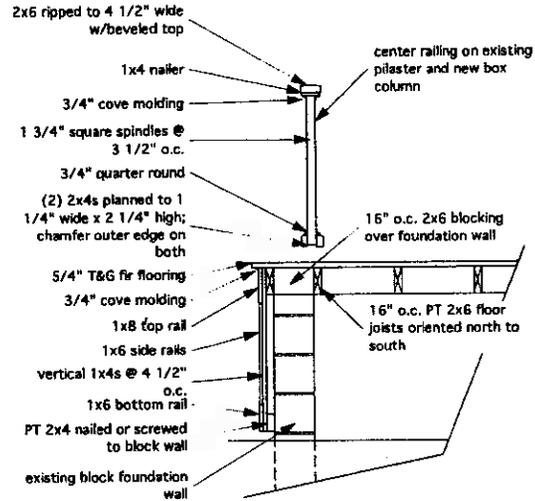
SHEET A6 OF 7
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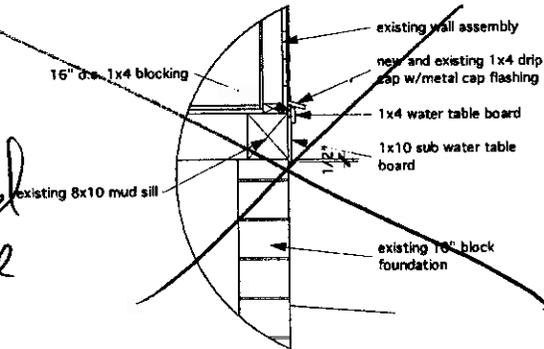
NOTE: PROVIDE HAND RAIL ON STAIRS

- 2x10 cap with beveled top
- 1 1/8" cove molding
- 2 1/2" x 3/4" cap trim
- inverted camelback cap
- 5" square box newel
- N-cap trim
- 1x6 base trim
- double 1x6 treads
- 3/4" cove molding
- cedar 2x12 stringers

1 PORCH RAILING/APRON ELEVATION
A7 Scale: 1/2" = 1'-0"



2 PORCH RAILING/APRON SECTION
A7 Scale: 1/2" = 1'-0"



3 WATER TABLE BOARD DETAIL
A7 Scale: 1/2" = 1'-0"

See attached water table detail

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MILWAUKEE, WI

SHEET CONTENTS:
PORCH DETAILS
WATER TABLE BOARD
DETAIL

SHEET A7 OF 7

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2-3/4"

NOTE: 13/16" OR 3/4" MATERI.
MAY BE USED FOR ANGLED BOA

Note
angle
&
Size

WATER TABLE
AT TOP OF FOUNDATION

Full Size

Bottom Board
can be sized to suit needs