



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property 116 E. VINE ST.
Description of work Install new shingles and ridge vent.
Date issued 11/20/2009 PTS ID 62651 COA New Roof

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Two attic fans will be removed and existing gutters will be re-used. The shingles used will be 30 year Certainteed, Driftwood in color. New ridge vent will be installed.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. **Work that is not completed in accordance with this certificate may be subject to correction orders or citations.** If you require technical assistance, please contact Carlen Hatala of the Historic Preservation staff as follows: Phone: (414) 286-5722 Fax: (414) 286-0232 E-mail: chatal@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.

Carlen Hatala
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Milele Coggs, Contractor, Inspector Bill Richter (286-2518)





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LIVING WITH HISTORY

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Property 116 E. VINE ST.
Description of work Construct a concrete parking area with deck above.
Date issued 11/20/2009 PTS ID 62368 COA

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work shall coincide with submitted and approved documents and photos. Concrete parking pad will be constructed and a wood deck will be constructed above the parking pad. The deck will have skirting that matches the current front porch and will screen the car and parking pad. The deck railing will follow the design and baluster spacing as shown in Living With History.

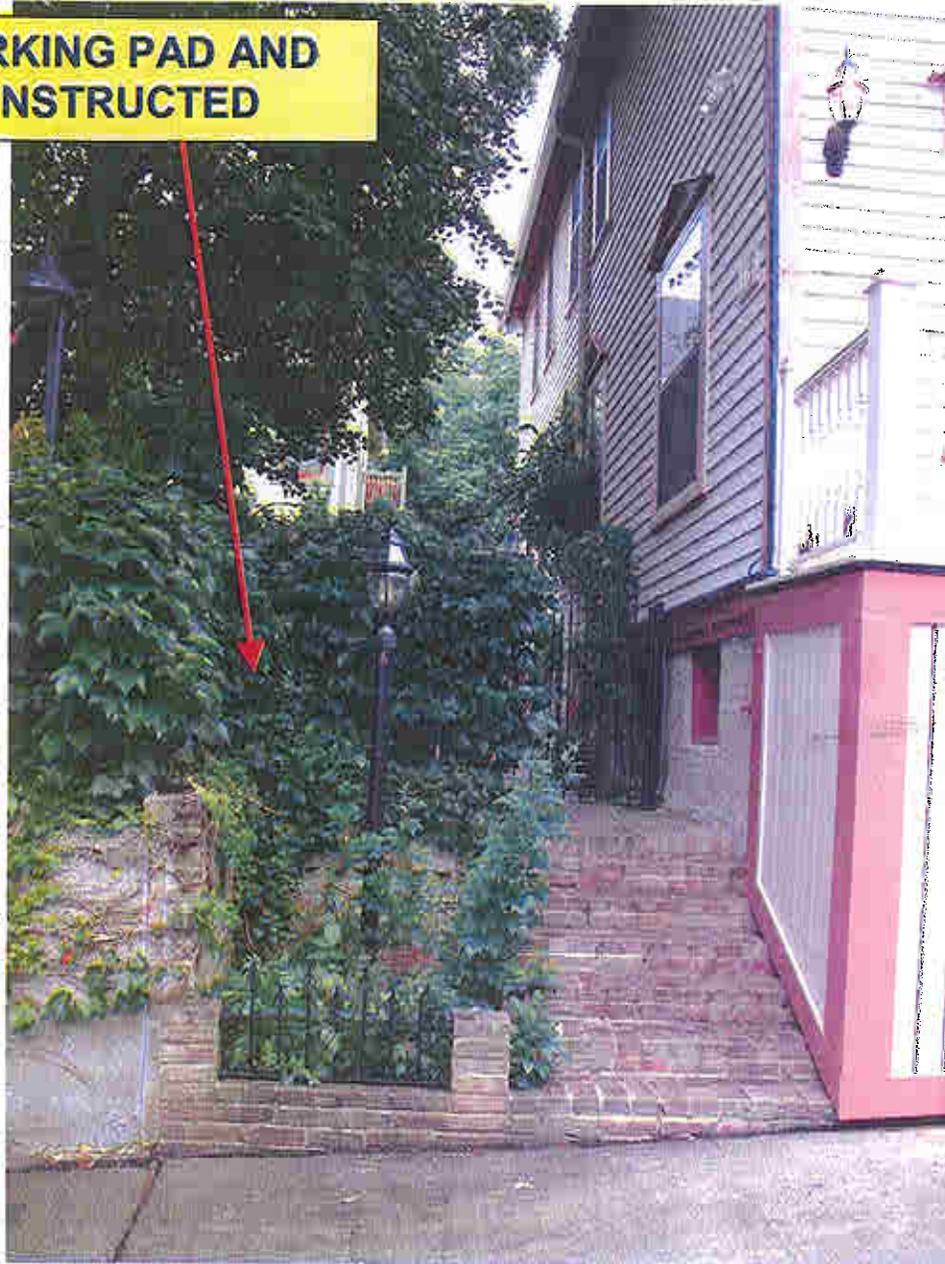
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AREA WHERE PARKING PAD AND DECK WILL BE CONSTRUCTED



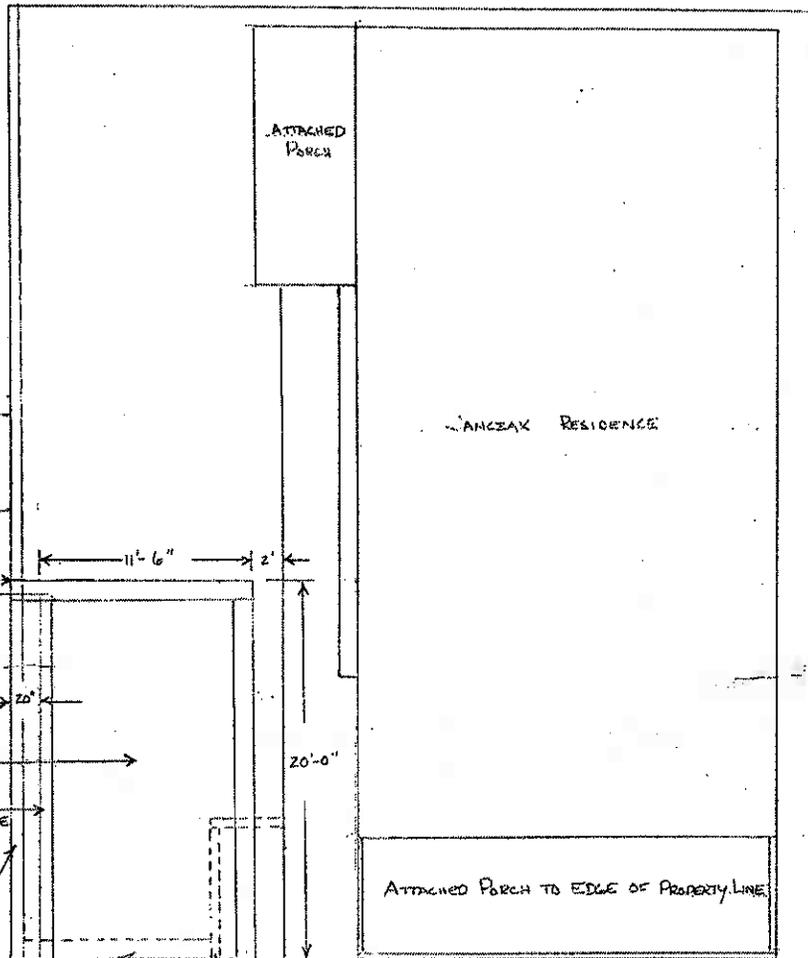
EXISTING CONCRETE STRUCTURE →

SAN CUT EXISTING CONCRETE WALL
4' HIGH MODULAR BLOCK RETAINING
WALL

SET BACK FROM PROPERTY LINE
TO WOODEN ENCLOSURE WALL → 20"

PROPOSED 10'x19' CONCRETE
PARKING SLAB →
PROPOSED WOODEN ENCLOSURE WALL
TO MATCH EXISTING PORCH ENCLOSE

PROPOSED DEMOLITION OF
EXISTING CONCRETE WALL

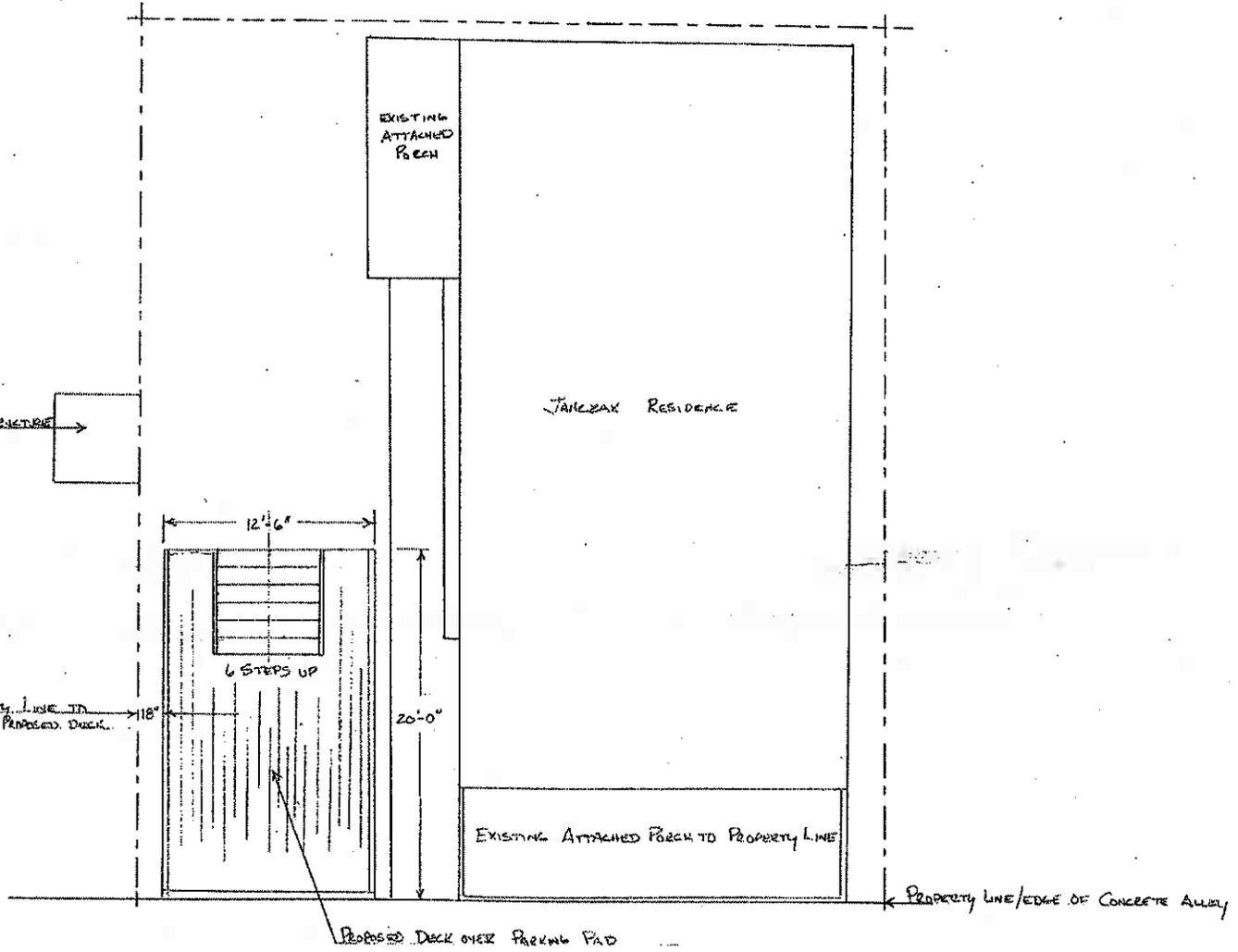


PROPOSED DEMOLITION
OF CONCRETE/BRICK WALL

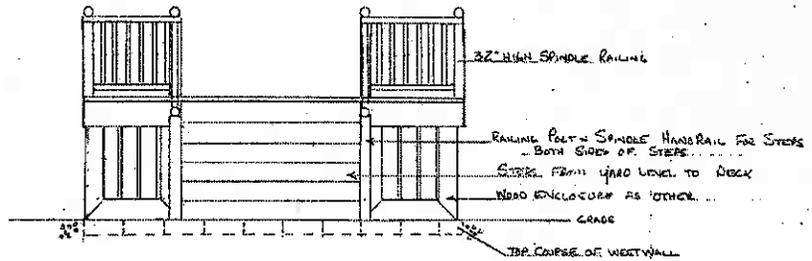
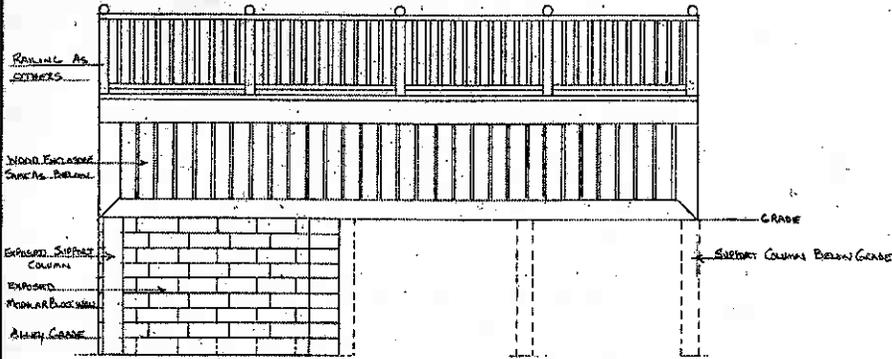
6/16/12

EXISTING CONCRETE STRUCTURE

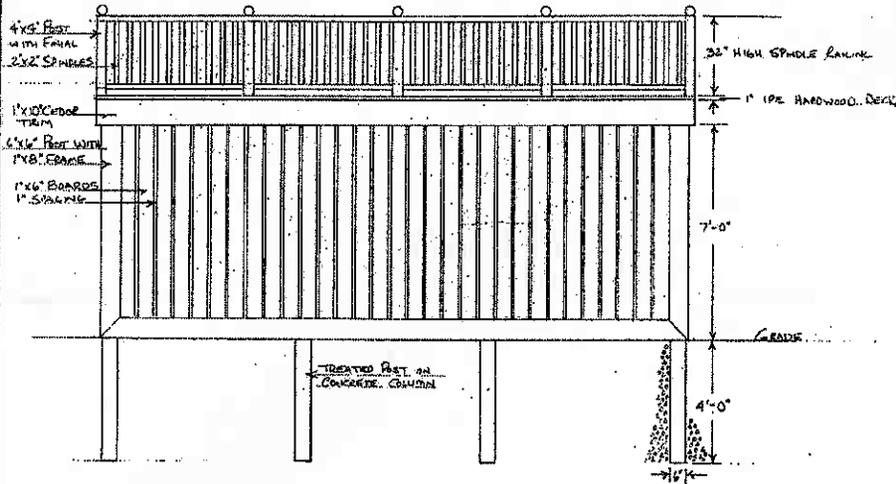
SETBACK PROPERTY LINE IN
OUTER EDGE OF PROPOSED DECK 18"



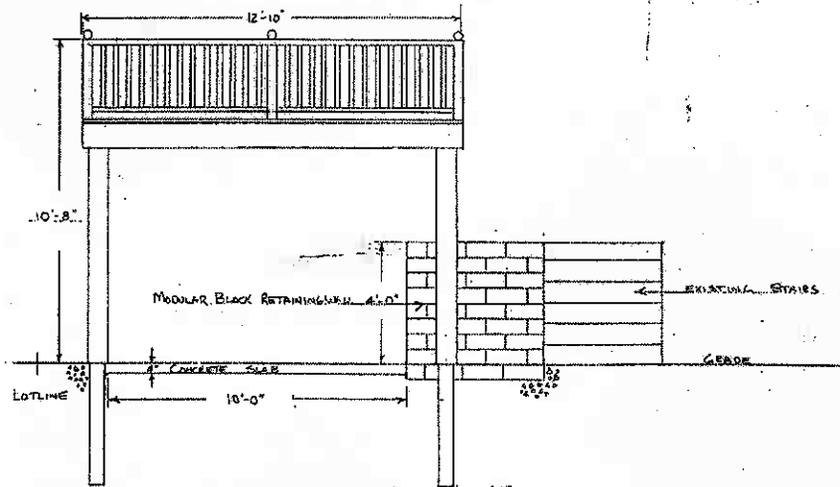
EAST ELEVATION VIEW



WEST ELEVATION VIEW



SOUTH ELEVATION VIEW

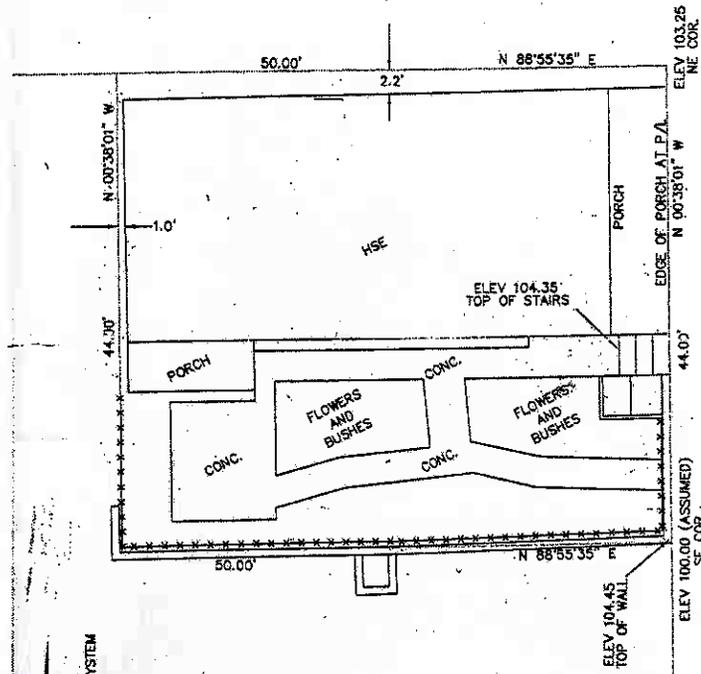


ALLEY OR EAST ELEVATION VIEW

PLAT OF SURVEY.

FOR
BARB JANCZAK

THE NORTH 44 FEET OF THE EAST 50 FEET OF LOT 14, IN BLOCK 35 OF
SHERMAN'S ADDITION IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 20,
TOWNSHIP 7 NORTH, RANGE 22 EAST, CITY OF MILWAUKEE, MILWAUKEE COUNTY,
STATE OF WISCONSIN.



BEARINGS BASED ON THE
WISCONSIN COORDINATE SYSTEM
SOUTHERN ZONE