



# Certificate of Appropriateness

**LIVING WITH HISTORY**

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

**Property**

117 W. VINE ST.

**Description of work**

Install on east lot line only a short retaining wall of no more than 3 feet made of a product called compact hewn stone by Best Block Company. Each block to be 8" x 18" measured on the face. Install wood privacy fence at the top of the wall to screen lot from neighboring residential property. Fence will be 6 feet above the neighbor's rear yard, but shorter, according to code, in the side yard.

**Date issued**

10/10/2008

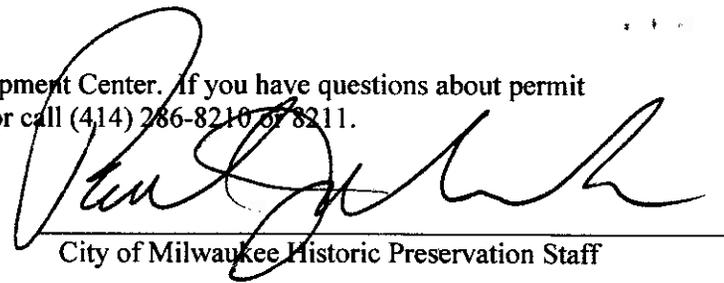
PTS ID 31169 COA, retaining wall and wood privacy fence on east lot line

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Fence will be clear-coated upon completion to protect it from the weather and so it will not discolor. All work will be done according to attached drawings. Fence will be made of cedar.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210 or 8211.

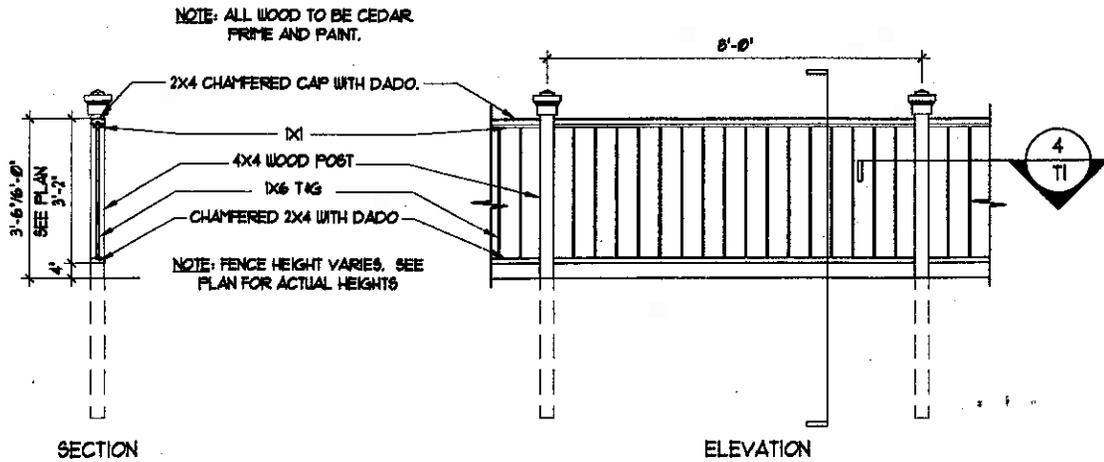
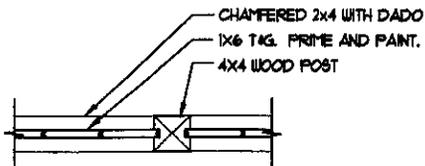
  
City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Milele Coggs, Inspector Bill Richter (286-2518)

TOTAL LOT SIZE: 4000 SQ. FT.  
 LANDSCAPED AREA: 1300 SQ. FT. 32.5% OF TOTAL AREA  
 NOTE: ALLEY IN PROCESS OF BEING VACATED.

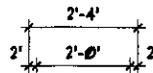
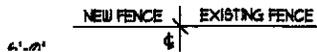
## REQUIREMENTS

RESIDENTIAL BUFFER: 10 FT. MIN.  
 OPAQUE FENCING 3'-6" HIGH ADJACENT TO RESIDENTIAL YARD  
 NON-OPAQUE FENCING 3'-0" TO 6'-0" FOR TYPE B (NORTH FENCE)  
 MASONRY PIERS MAXIMUM SPACING 25' WITH LOCATIONS AT CORNERS AND  
 CHANGES IN DIRECTION.

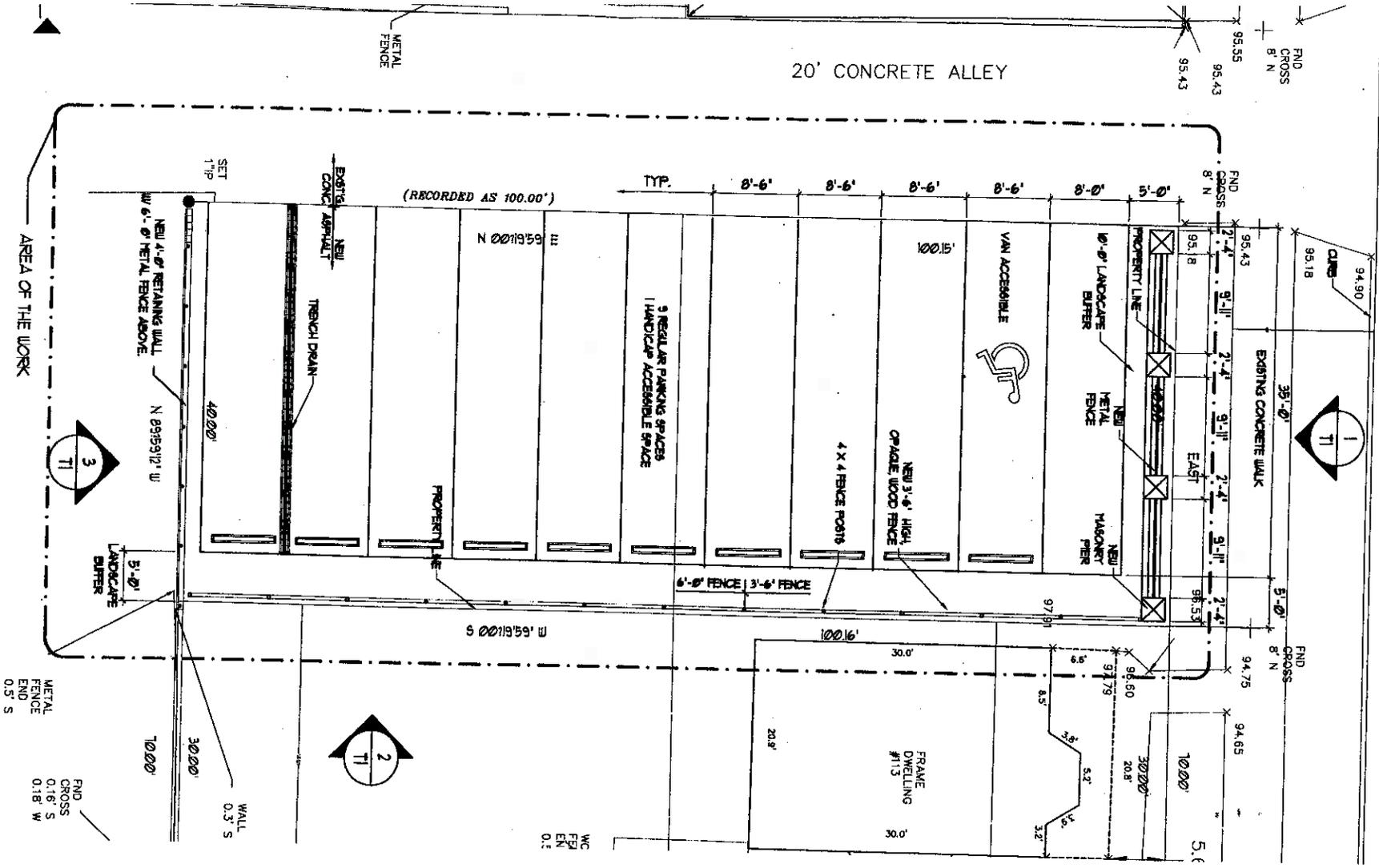


4 SECTION AT EAST PERIMETER FENCE  
 1" = 1'-0"

2 PARTIAL EAST ELEVATION W/ SECTION, TYP.  
 3/8" = 1'-0"



PRECAST CONCRETE CAP WITH 2" DRIP EDGE  
 'CREAM CITY' FACE BRICK



PLAN

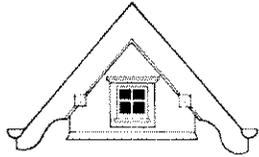
NORTH

FND CROSS 0.18' S  
METAL FENCE 0.5' S

FND CROSS 0.16' S  
METAL FENCE 0.5' S

WALL 0.3' S

WC FEV EN 0.1'



# Certificate of Appropriateness

**LIVING WITH HISTORY**

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5705

**Property** 117 W. VINE ST.  
**Description of work** Parking lot east of Schlitz Cooper lofts  
**Date issued** 11/8/2006 PTS ID 31169 COA - Parking Lot

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

The work must be done according to the attached drawings and/or photos, any changes must be approved by HPC staff. Brick masonry must be Cream City Brick that will be chemically cleaned. Joints will not exceed 3/8" in width. A concave or slightly raked joint will be used. Please note that mortar, which is too hard, is prone to premature failure. See "Good for Business" masonry chapter for a detailed explanation. The wood fence, staff suggests be of a naturally decay resistant variety. All wood must be painted as soon as possible to protect from weather. Please note that research has shown that when new bare wood is exposed to the elements for a period of only a week or two, the life of the paint job applied to it is likely to be decreased.

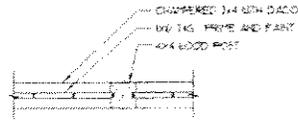
All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: [pjakub@mkedcd.org](mailto:pjakub@mkedcd.org).

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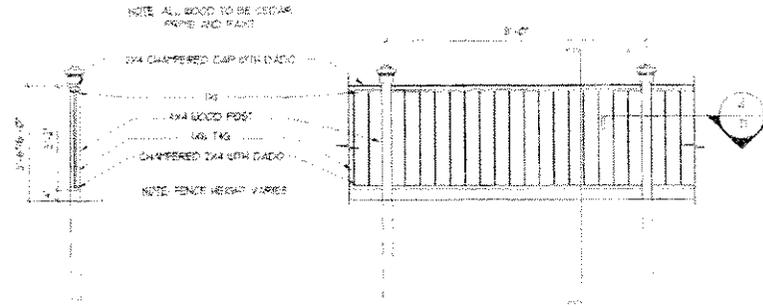


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 City of Milwaukee Historic Preservation Staff

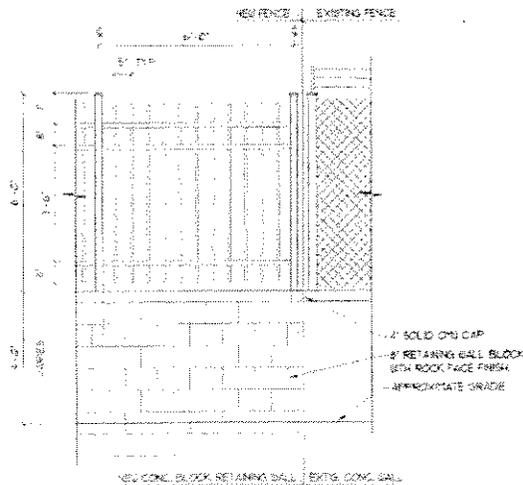
Copies to: Development Center, Ald. Michael McGee, Erik L. Madisen Architect, Inspector Bill Richter (286-2518)



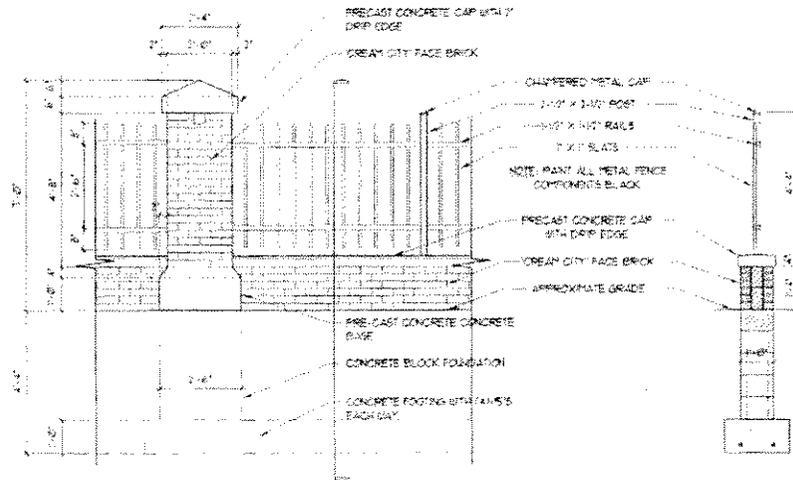
4 SECTION AT EAST PERIMETER FENCE  
3/8" x 1'-0"



2 PARTIAL EAST ELEVATION W/ SECTION, TYP.  
3/8" x 1'-0"



3 PARTIAL SOUTH ELEVATION  
3/8" x 1'-0"



1 PARTIAL NORTH ELEVATION W/ SECTION, TYP.  
3/8" x 1'-0"

Brick masonry must be Cream City Brick that will be chemically cleaned. Joints will not exceed 3/8" in width. A concave or slightly raked joint will be used.

