

Brewers Hill Hist. Dist.



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5212

Property

122 E. LLOYD ST.

Description of work

Install NewCentral and Air Conditioning and Vent Pipe for Heating Equipment

Date issued

7/20/2007

PTS ID 15349 COA - Install New Heating and Air Conditioning

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

New vent pipe for furnace if required should be located as far back as possible from front elevation and painted to match house. If pipe is stainless steel painting is not required.
Install central A/C unit on grade in back of house next to foundation, not visible from street.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Michael McGee, Inspector Bill Richter (286-2518)



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5705

Property

122 E. LLOYD ST.

Description of work

Remove east dormer; rebuild new east dormer to original specifications, install two double hung windows centered in rear gable. Install central A/C unit on grade in back of house next to foundation. Remove existing metal doors, install new wood doors.

Date issued

4/3/2007

PTS ID 15349 COA- Roof Dormer

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Rebuild exterior dormer. Dormer must match exactly the front gable in terms of pitch, trim, and all details. Windows must be wood both inside and out the same size and configuration of the existing windows in the front gable. Rear gable windows must be separated by a 5" wide mullion and trimmed with flat trim boards to match existing windows. No trim or other fixtures may be removed. The work must be done according to the attached drawings and/or photos, any changes must be approved by HPC staff. All trim and sidewall shingles must be made from clear wood. No vinyl, aluminum or other substitute materials are allowed.

All finish wood must be smooth and free from knots and sapwood. All wood must be painted as soon as possible to protect from weather. Staff suggests wood be of a naturally decay resistant variety. Please note that research has shown that when new bare wood is exposed to the elements for a period of only a week or two, the life of the paint job applied to it is likely to be decreased.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Michael McGee, Inspector Bill Richter (286-2518)



Rebuild exterior dormer. Dormer must match exactly the front gable in terms of pitch, trim, and all details.

Windows shall be the same size and configuration of the existing windows in the front gable.





Install three double hung windows centered in rear gable. Rear gable windows must be separated by a 5" wide mullion and trimmed with flat trim boards to match existing windows.

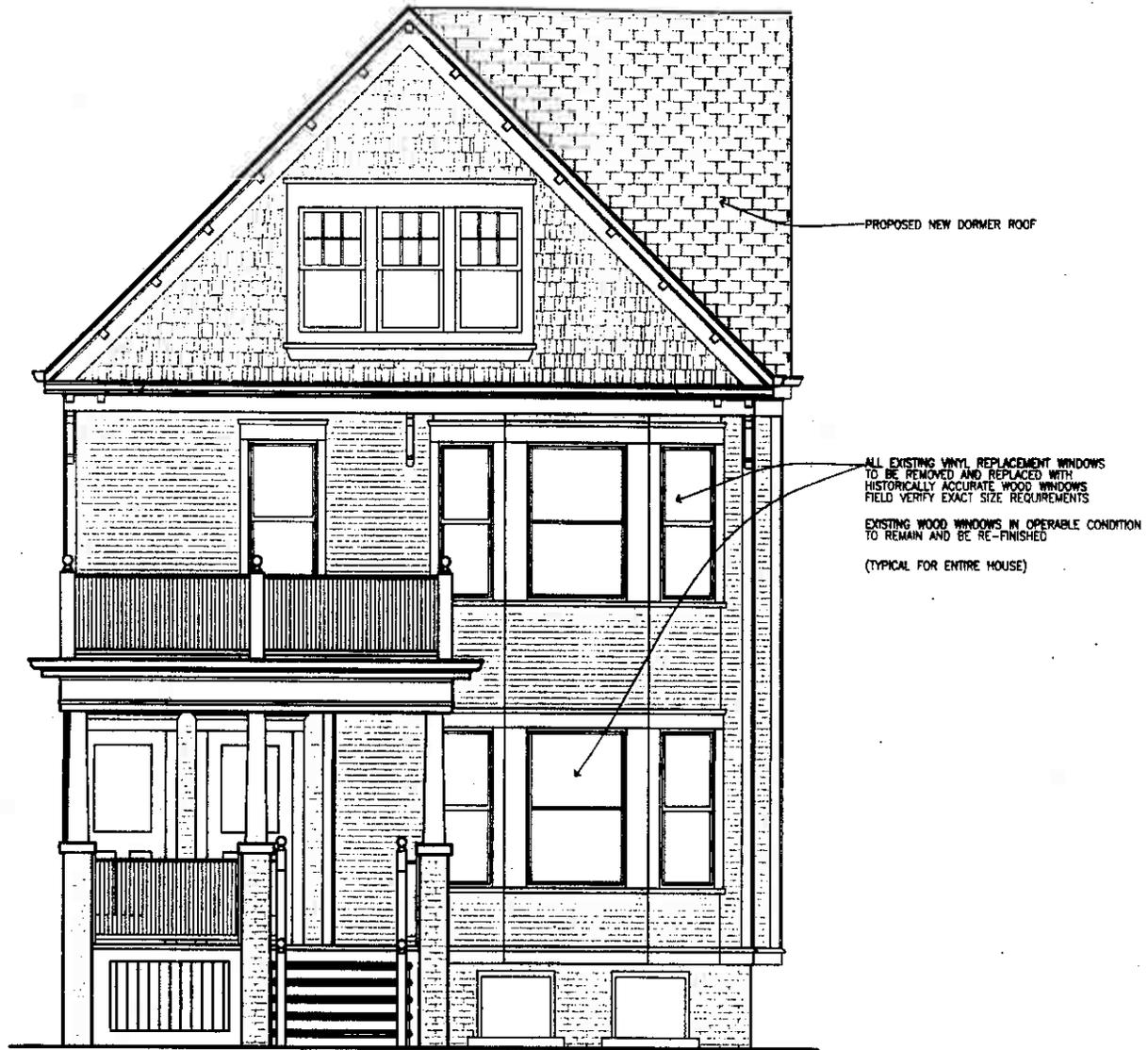


Windows shall be the same size and configuration of the existing windows in the front gable.



PROPOSED EAST ELEVATION

SCALE: 1/4"=1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1/4"=1'-0"



Queen Anne (1890-1905).

**Remove existing metal doors and
install new wooden doors.
(Queen Anne door as presented
in As Good as New, pg. 142.)**