



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property 2104 N. 1ST ST.
Description of work Install new stone steps on lawn and brick walk at top and bottom of steps. Small stone piers, 24" in height to flank top of steps.
Date issued 5/27/2009

PTS ID 58975 COA, new lawn steps and brick walk

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work to be done according to attached drawings. No part of the house or porch will be affected.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Milele Coggs, Contractor Landmark Landscape, Inspector Bill Richter (286-2518)

LOCATED IN THE NORTHEAST 1/4 OF SECTION 20, TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.

CONTAINING 5,012 SQ. FT.



SCALE 1"=20'

PREPARED FOR:

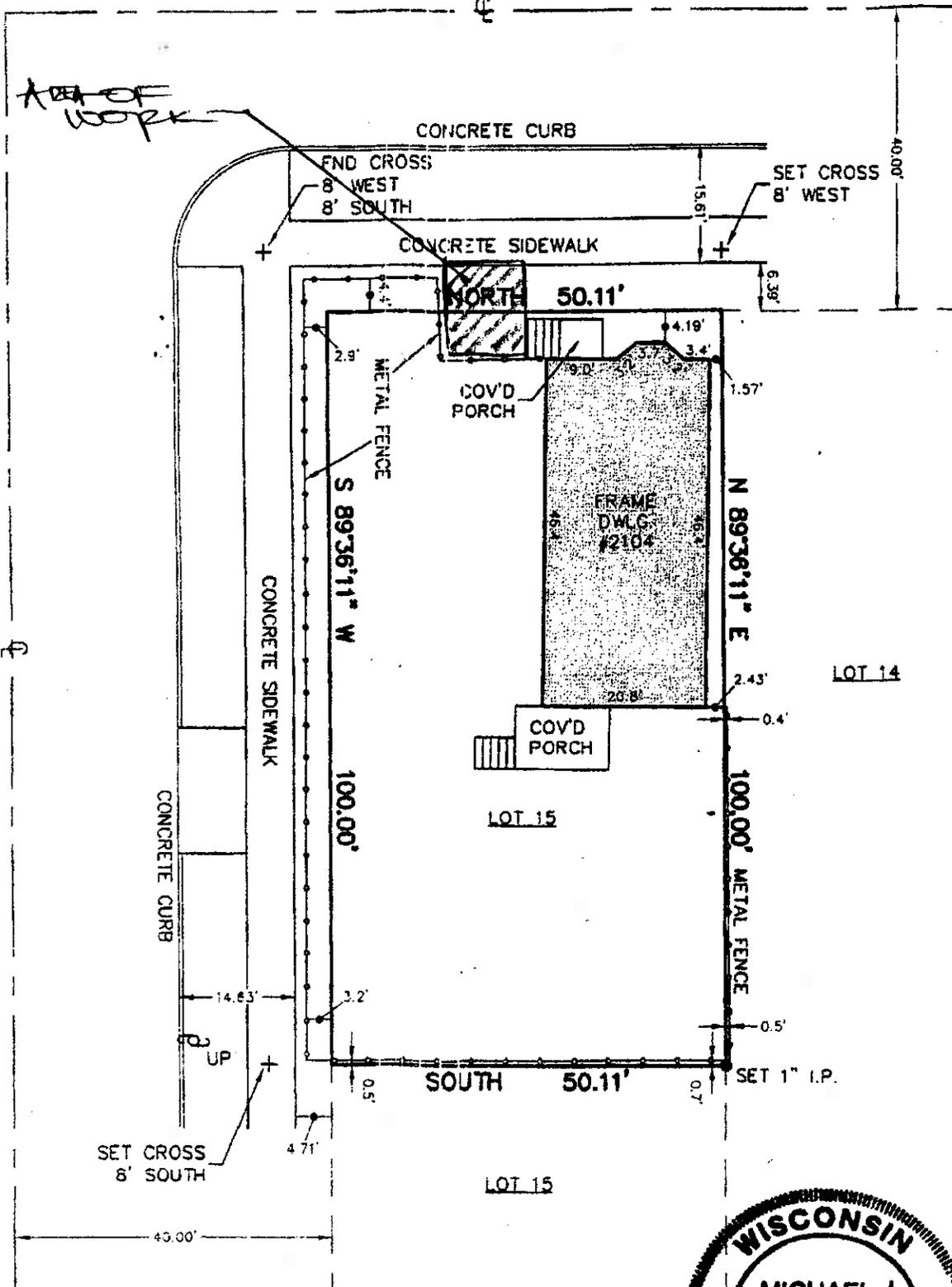
DONALD BERAN
2104 N. 1ST STREET
MILWAUKEE, WI

PREPARED BY:

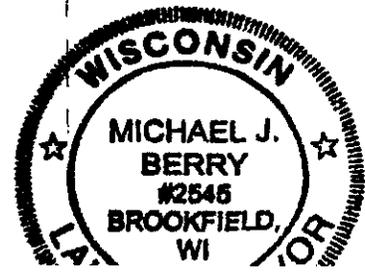
MICHAEL J. BERRY, R.L.S.
4045 N 135TH STREET
BROOKFIELD, WI

NORTH 1ST STREET (80')

WEST LLOYD STREET (80')



I CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY, AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, BOUNDARY FINCES, APPARENT



JEAN DEW
2104 N. 1ST STR
MILWAUKEE, WI 53212

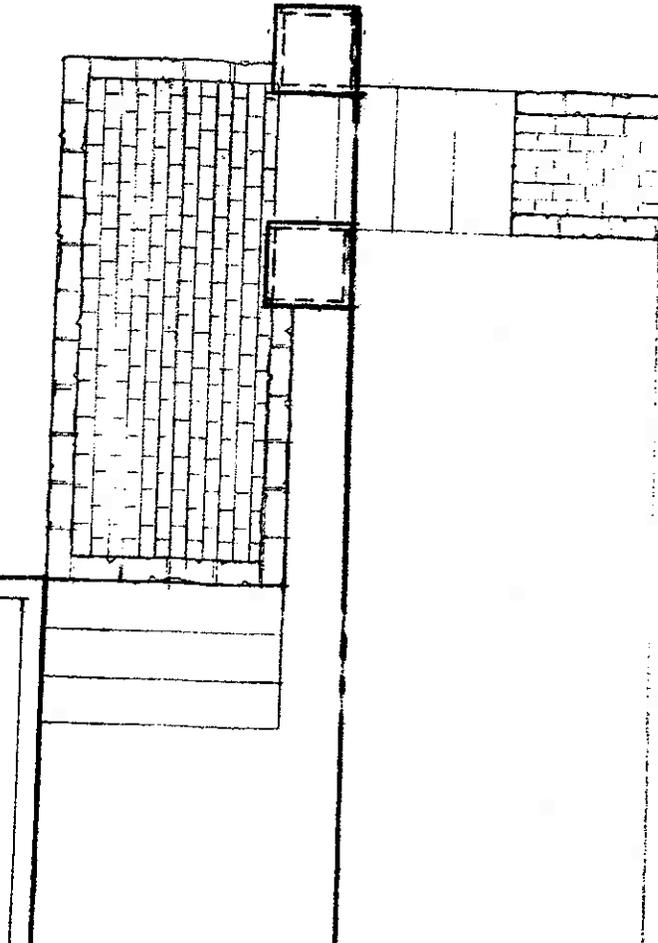
LANDMARK
LANDSCAPE DESIGN, LLC

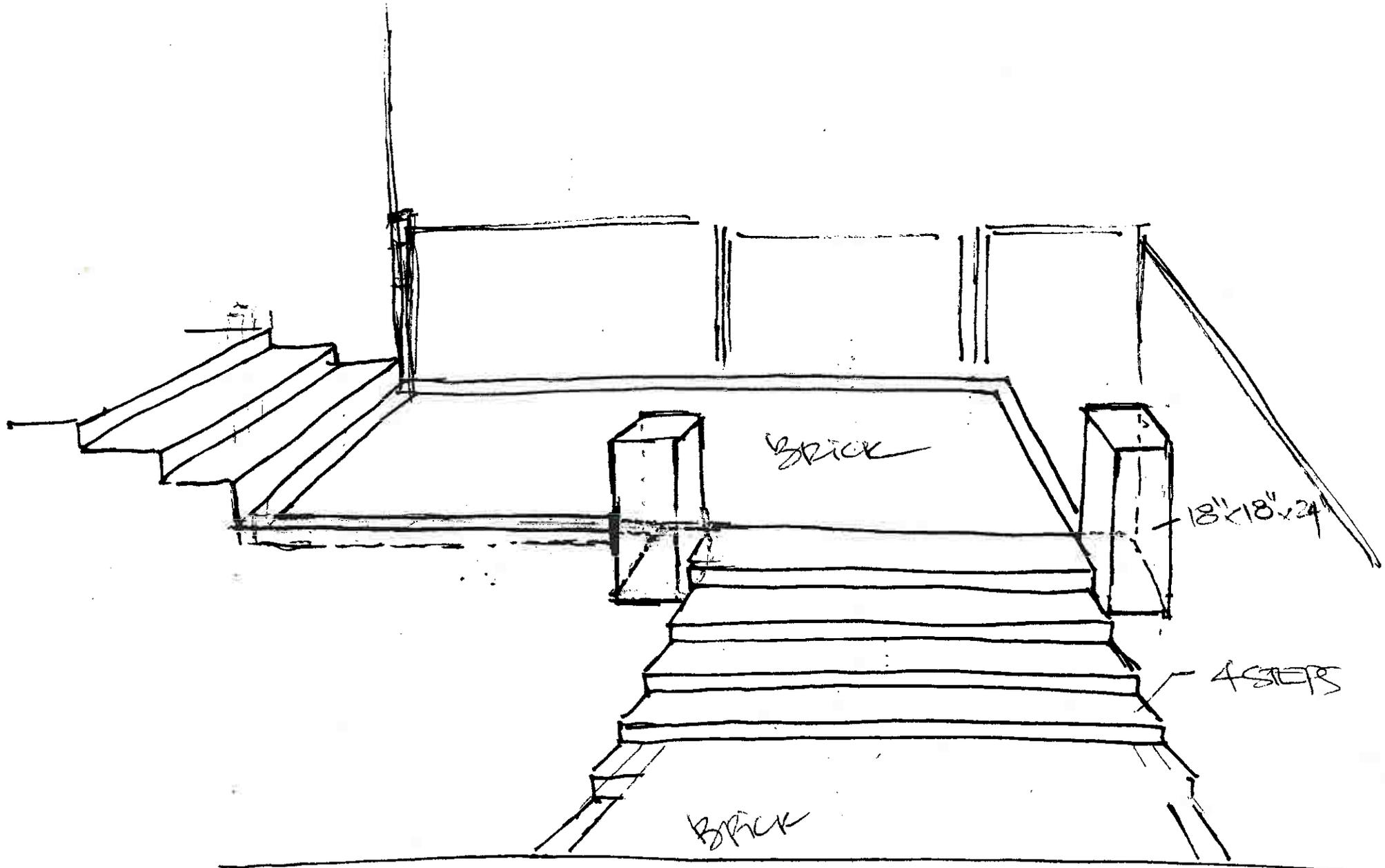


GARDEN DESIGN
CONSTRUCTION
SOFTSCAPE
HARDSCAPE
PROJECT
MANAGEMENT
FLORAL DESIGN

RADKA PELIKANOVA
OWNER

414-628-2559
RPELIKANOVA@AOL.COM
3275 N. HACKETT AVE
MILWAUKEE, WI 53211





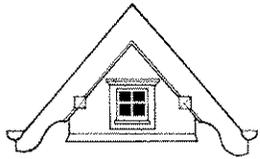
BRICK

18" x 18" x 24"

4 STEPS

BRICK

Brewers Hill H.D.



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5212

Property 2104 N. 1ST ST.
Description of work New 2-car garage
Date issued 8/2/2007

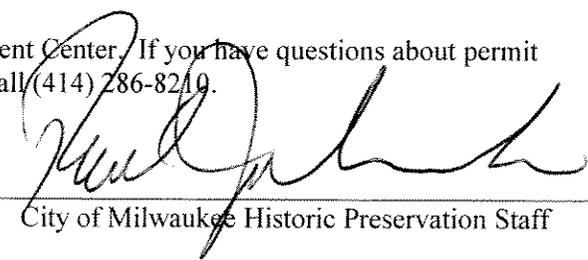
PTS ID 43929 COA - New Garage

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

The work must be done according to the attached drawings and/or photos, any changes must be approved by HPC staff. Garage will be finished with wood siding, trim and windows. Overhead door will be made to look like swinging or sliding carriage barn door and can be made of metal, but must be painted. All finish wood must be smooth and free from knots and sapwood. All wood must be painted or stained as soon as possible to protect it from weather. Please note that research has shown that when new bare wood is exposed to the elements for a period of only a week or two, the life of the paint job applied to it is likely to be decreased.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

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 City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Michael McGee, Inspector Bill Richter (286-2518)

EAR (NORTH) ELEVATION

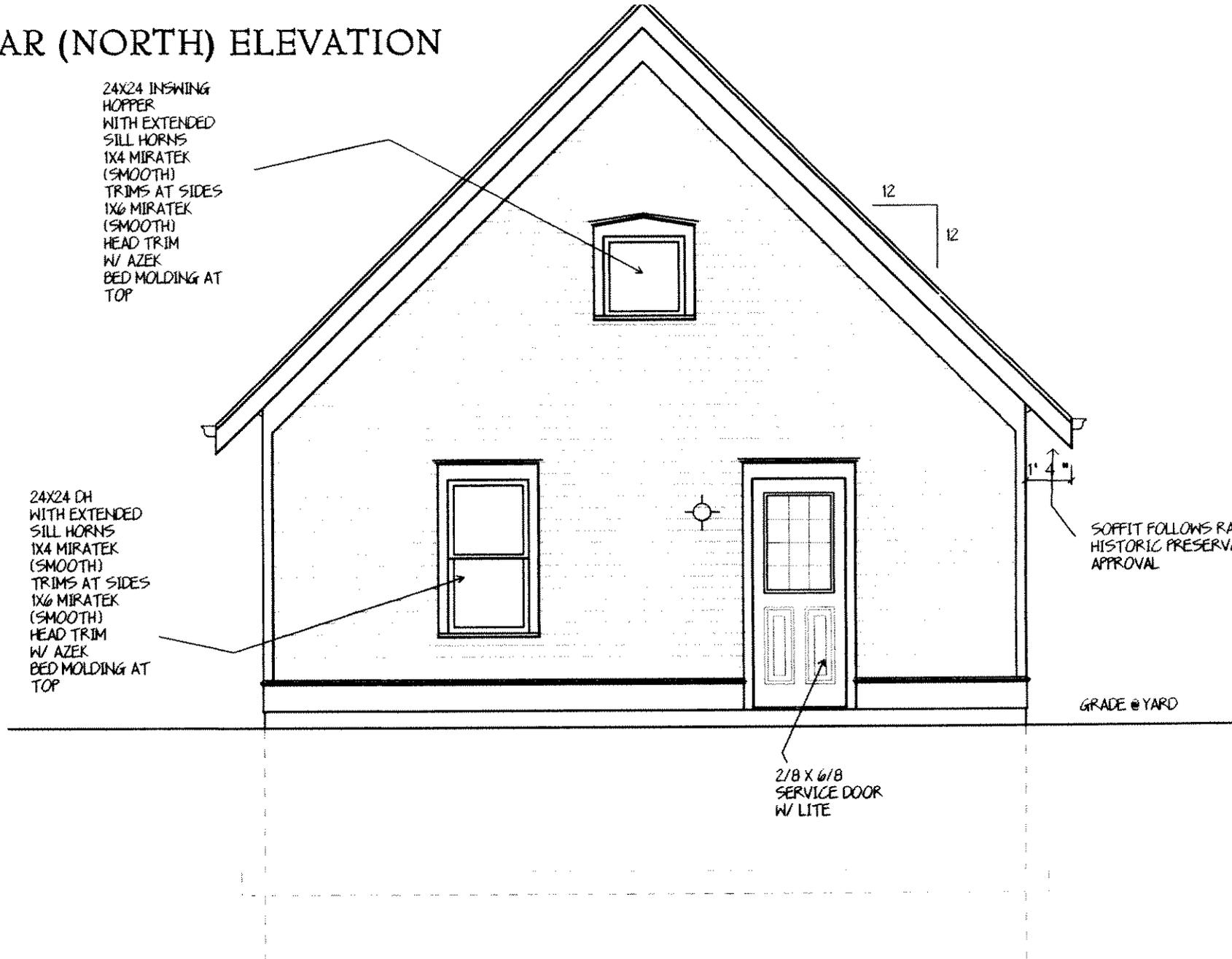
24X24 INSWING
HOPPER
WITH EXTENDED
SILL HORNS
1X4 MIRATEK
(SMOOTH)
TRIMS AT SIDES
1X6 MIRATEK
(SMOOTH)
HEAD TRIM
W/ AZEK
BED MOLDING AT
TOP

24X24 DH
WITH EXTENDED
SILL HORNS
1X4 MIRATEK
(SMOOTH)
TRIMS AT SIDES
1X6 MIRATEK
(SMOOTH)
HEAD TRIM
W/ AZEK
BED MOLDING AT
TOP

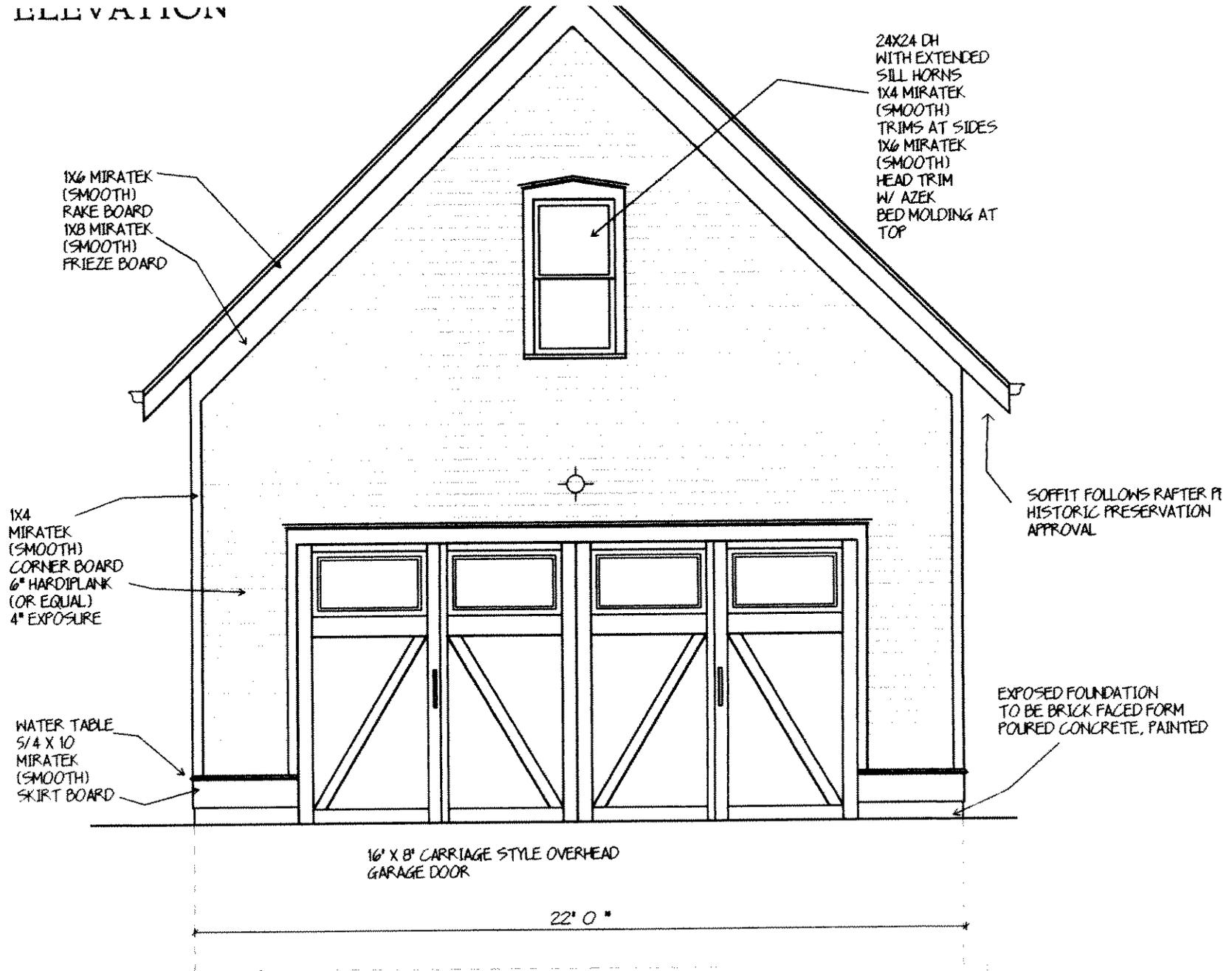
2/8 X 6/8
SERVICE DOOR
W/ LITE

SOFFIT FOLLOWS RAFTER PER
HISTORIC PRESERVATION
APPROVAL

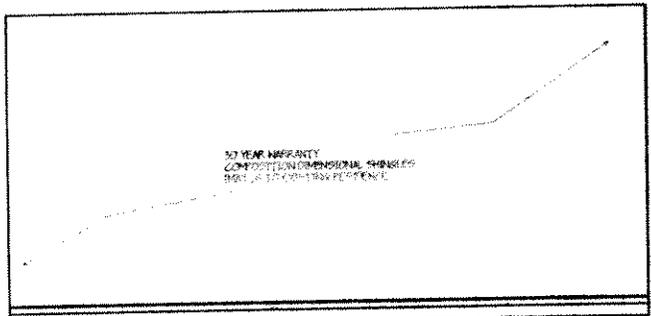
GRADE @ YARD



SOUTH ELEVATION

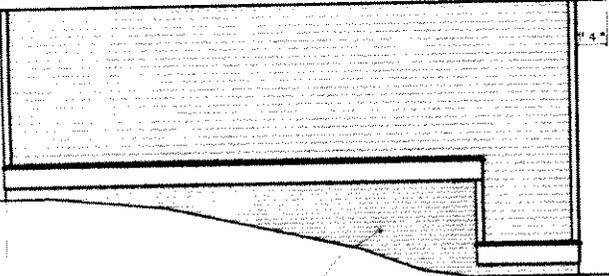


WEST ELEVATION



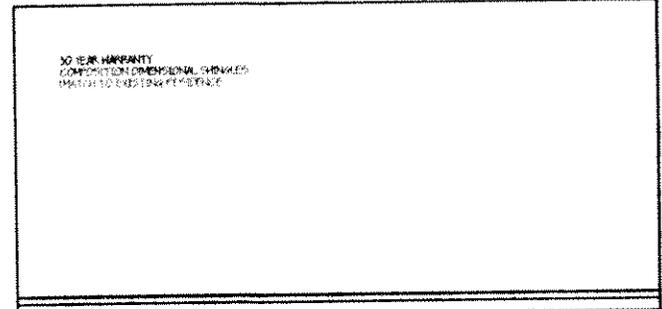
30 YEAR WARRANTY
COMPOSITION DIMENSIONAL SHINGLES
MATCH TO EXISTING REFERENCE

SPACE AT YARD



EXPOSED FOUNDATION
TO BE BRICK FACED FORM
/ 2" MINIMUM THICKNESS

EAST ELEVATION



30 YEAR WARRANTY
COMPOSITION DIMENSIONAL SHINGLES
MATCH TO EXISTING REFERENCE

GATE IN DRIVE TO YARD

SCREENED



SPACE AT YARD

24'-0"

