



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property

2604 N. LAKE DR.

Description of work

Work to include brick and decorative metal restoration at 2nd floor of west facade. All brickwork replaced with Roman Brick, Edicott Desert Iron Spot, and finished w/ 1/8" matching mortar joint. Sheet Metal deck railing being restored to original state by Michael Graf of Graf Heating and Sheet Metal Inc. (414) 445-1190.

Date issued

8/7/2009

PTS ID 60514 COA

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work to be done according to attached drawings and photos. **Former door opening to use as window with sill matching height of adjacent windows. Remainder of opening to be filled in with the brick specified above.**

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Carlen Hatala of the Historic Preservation staff as follows: Phone: (414) 286-5722 Fax (414) 286-0232 E-mail: Chatel@milwaukee.gov.

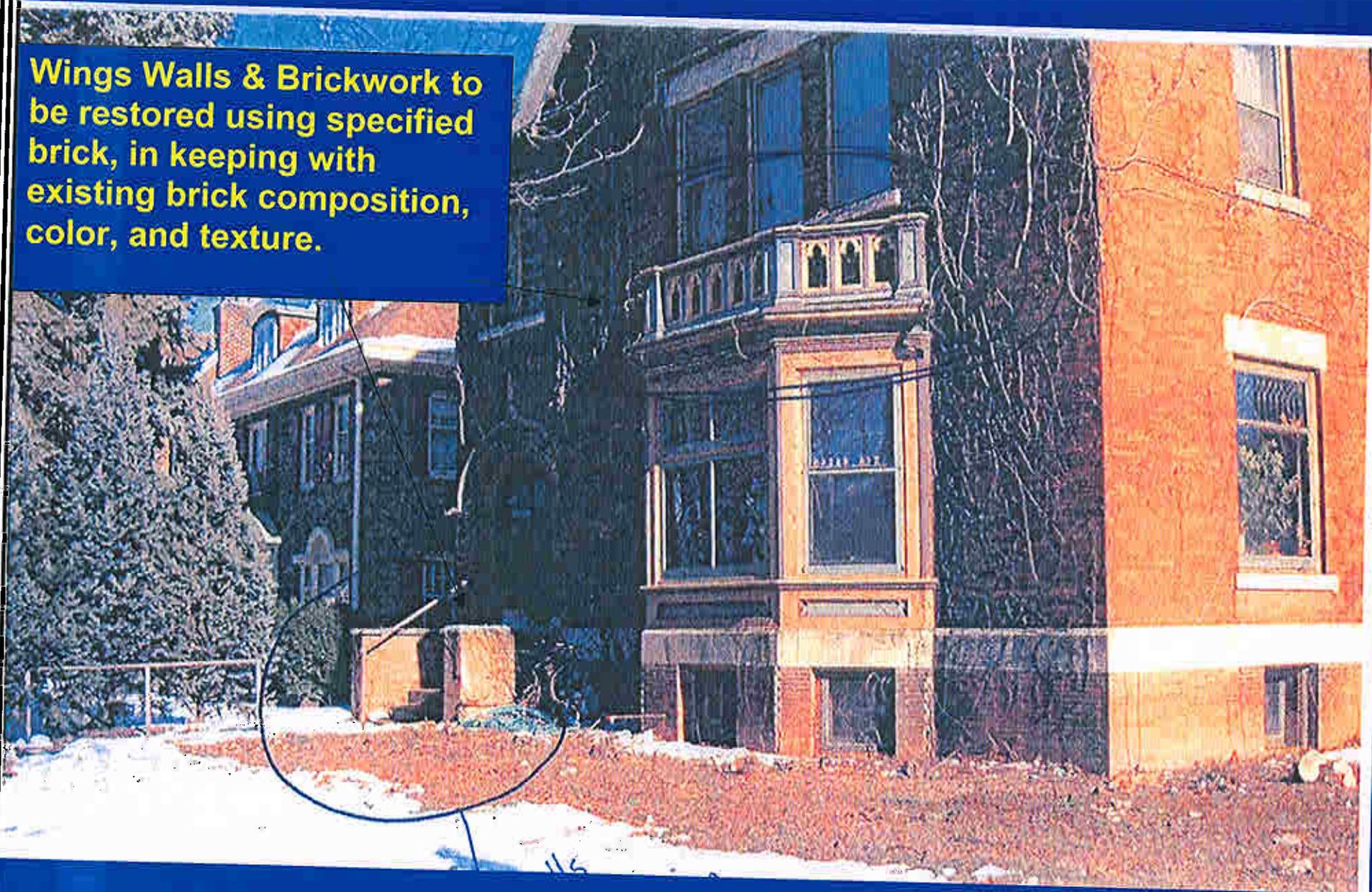
If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.

Carlen Hatala

City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Nik Kovac, Bruce Block, Inspector Jim Friedrichs (286-5982)

Wings Walls & Brickwork to be restored using specified brick, in keeping with existing brick composition, color, and texture.







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Property

2604 N. LAKE DR.

Description of work

Build new rear addition consisting of coach house and a conservatory. Rebuild an existing side porch/sunroom.

Date issued

10/4/2007

PTS ID 41813 COA, Coach house addition

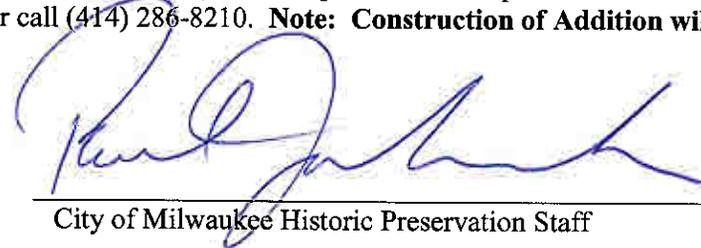
In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to the attached drawings and photos. All new windows on the addition will be wood, both inside and out. (No vinyl, vinyl-clad or aluminum clad windows allowed). All wood for trim must be smooth and free of knots and sapwood. All doors, including the overhead garage door designed to look like a swinging or sliding door, will be made of wood. All exterior wood must be painted as soon as possible to protect it from the weather. Please note that formal research has shown that when new, bare wood is exposed to the elements for a period of only a week, the life of the paint applied to is likely to be decreased. New roof shingles on the addition will match the shingles on the house. Eaves, bargeboards and window and door trim will match exactly the existing profiles and sizes on the house.

All new mortar and brick must match existing in terms of brick color, size and texture; and mortar joint hardness, size, color, texture and finish. A brick sample panel must be prepared and reviewed and approved by HPC staff *before* the installation of the new brick veneer. Any tuck-pointing must be reviewed and approved by HPC staff. A sample panel must be prepared, reviewed and approved before any tuck-pointing is done. **HPC staff must review and approve all final construction drawings before a permit is issued.**

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210. **Note: Construction of Addition will also require approval from Board of Zoning Appeals**



City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Michael D'Amato, Contractor Winters Group, Inspector Jim Friedrichs (286-5982)

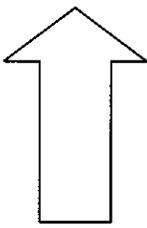
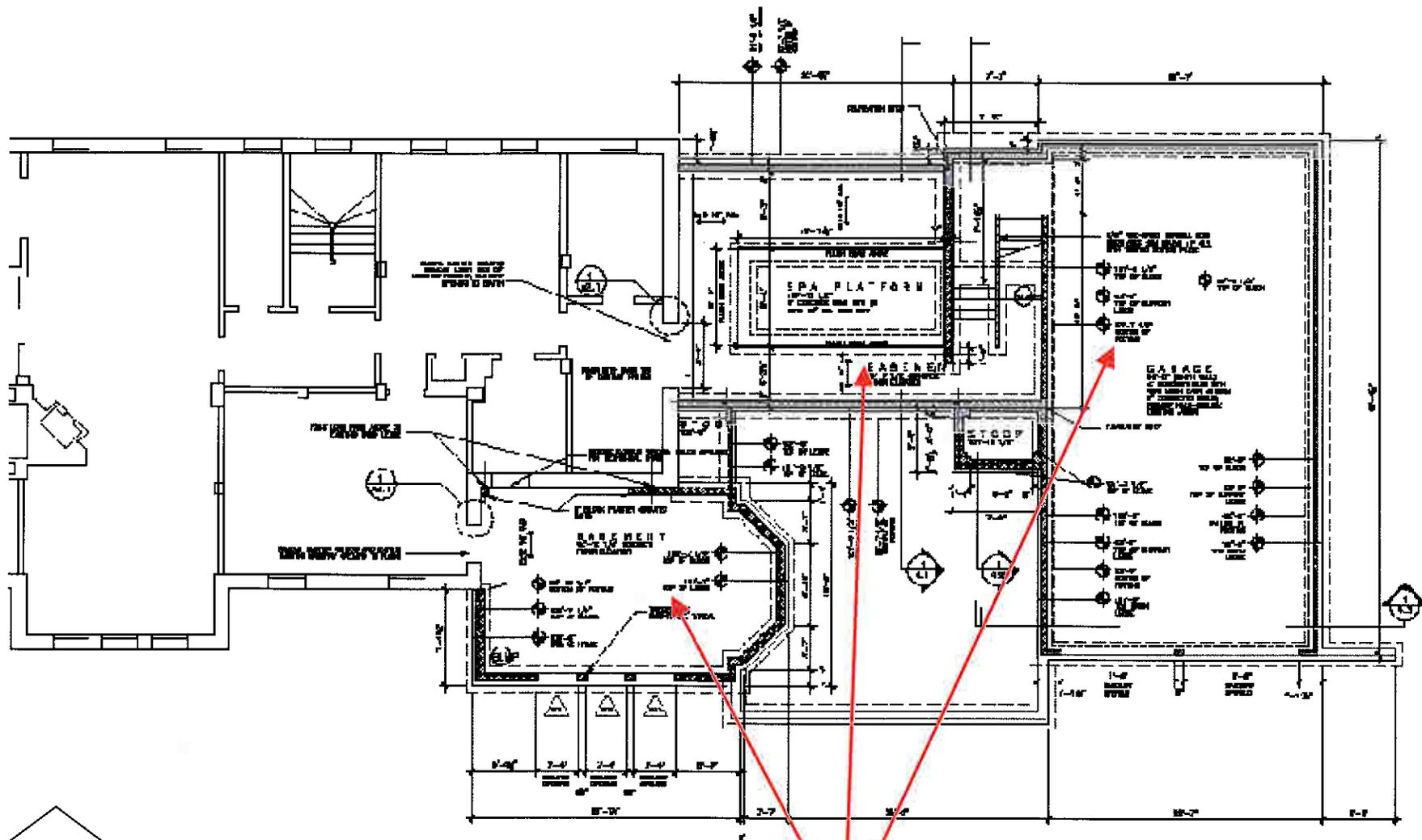


New
addition in
rear

2604 N. Lake Drive



New addition here

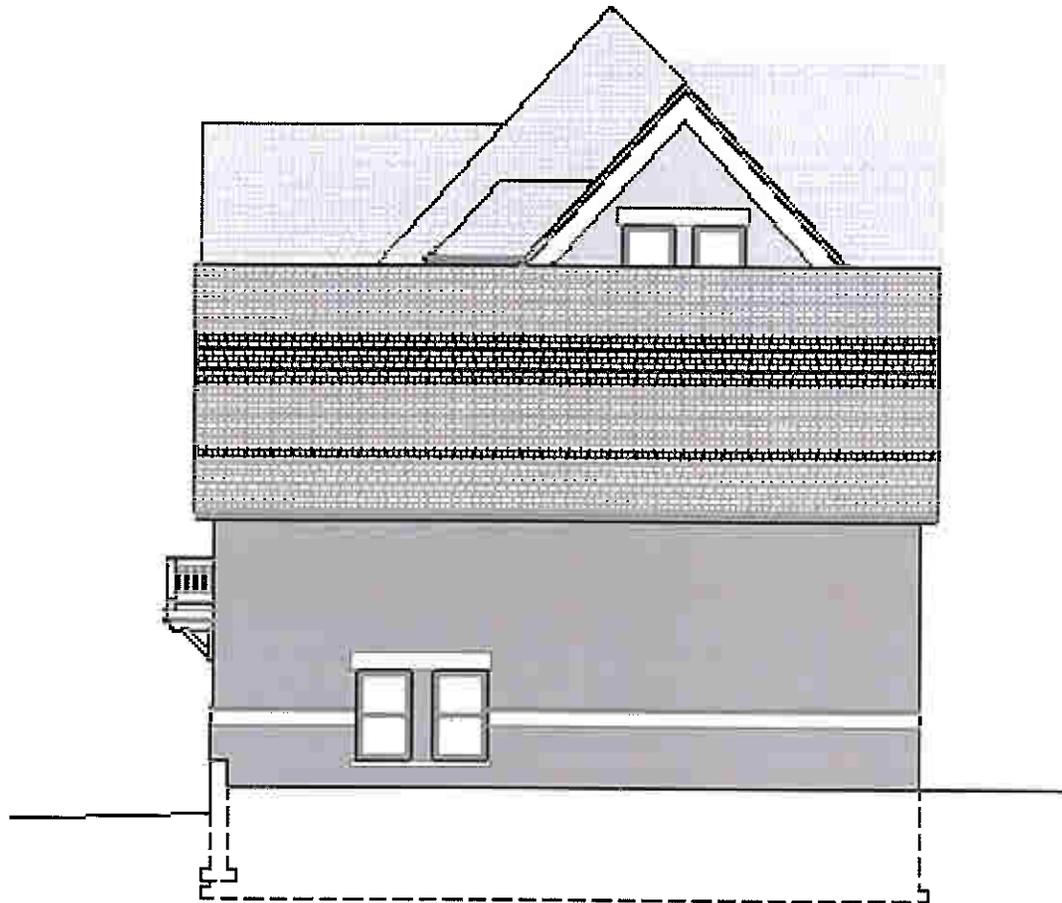


North

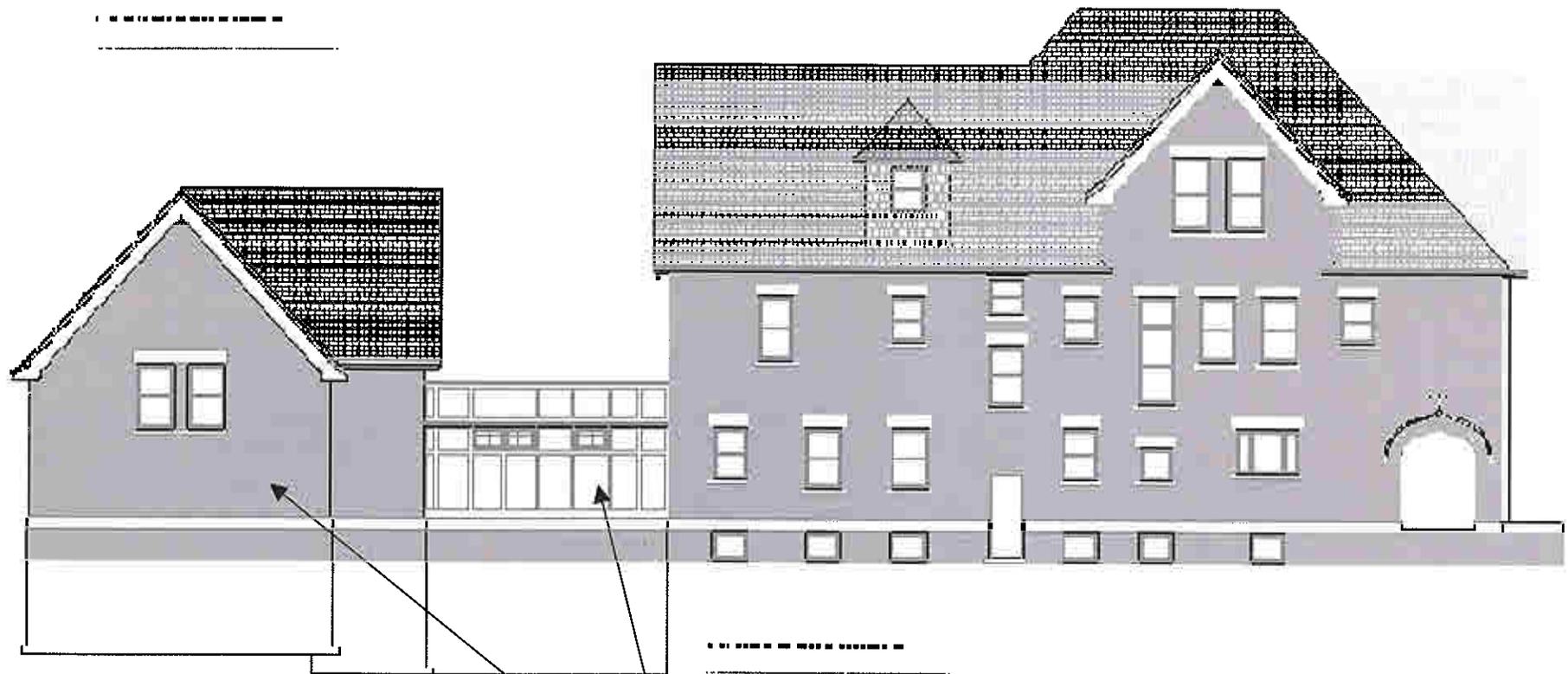
Plan of new rear addition and rebuilt sunroom



South elevation showing new sunroom, connector and garage



East elevation of new garage



North elevation showing connector and new garage