



# Certificate of Appropriateness

**LIVING WITH HISTORY**

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

**Property** 2655 N. LAKE DR.  
**Description of work** Build new 2-car frame garage with conservatory in southwest corner of backyard.  
**Date issued** 3-16-2009 PTS ID 52050 New 2-car detached garage

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached drawings. Siding and trim will be all wood. Windows and doors to be all wood both inside and out. Wood will be clear, free of knots and painted upon completion to protect it from the weather. Main overhead doors to be made of steel designed to look like carriage barn doors and will be painted upon completion. Asphalt architectural shingles, Owens Corning brand in brown wood to be installed on roof.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

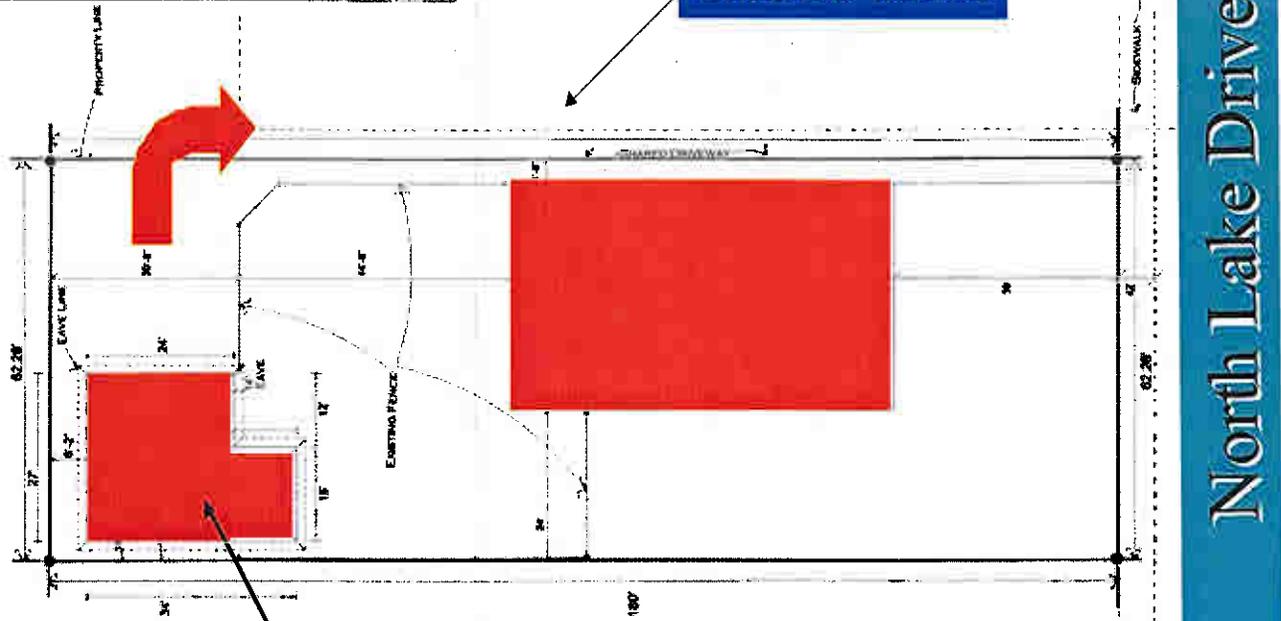
If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210 or 8211.

Paul Jakubovich  
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Nik Kovac, Contractor Hollenbeck Home Improvements, Inspector Jim Friedrichs (286-5982)



<b>THE NORTH POINT</b>
A TWO-CAR GARAGE WITH CONSERVATORY
26555 N. LAKE DRIVE
REPRODUCTION WITHOUT PERMISSION PROHIBITED
Site Plan
Scale: 1" = 10'-0"



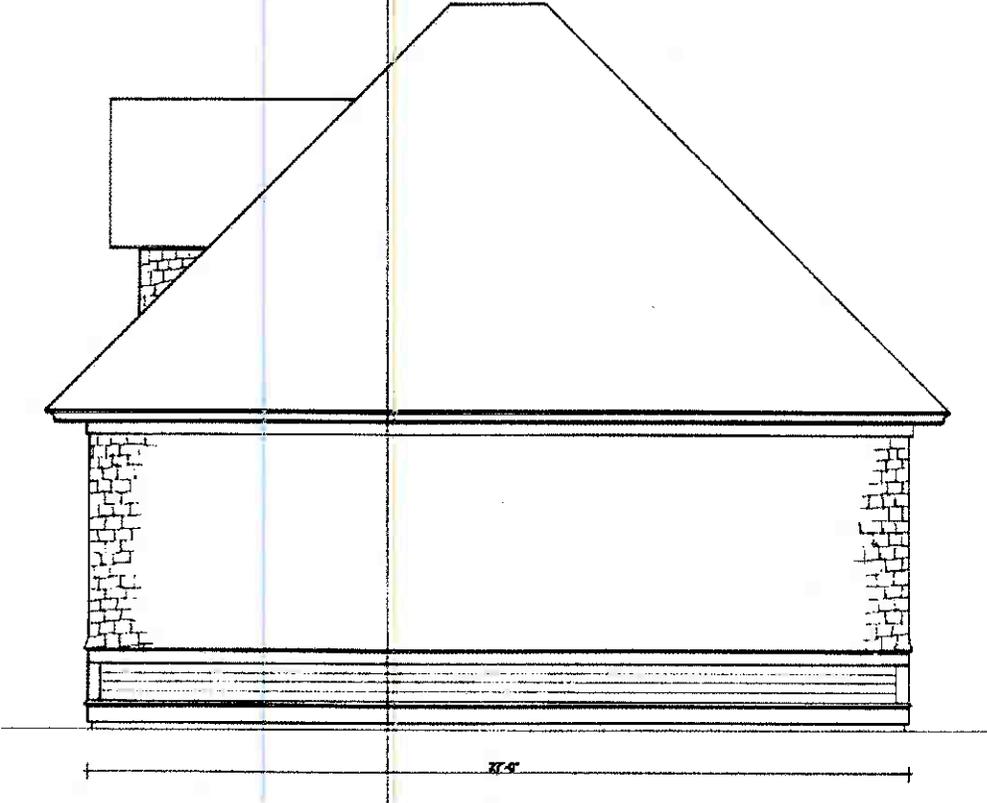
New Garage

Shared drive

North

North Lake Drive

West



**THE  
NORTH  
POINT**

A TWO-CAR GARAGE  
WITH CONSERVATORY

2888 N. LAKE DRIVE

REPRODUCTION WITHOUT  
PERMISSION PROHIBITED

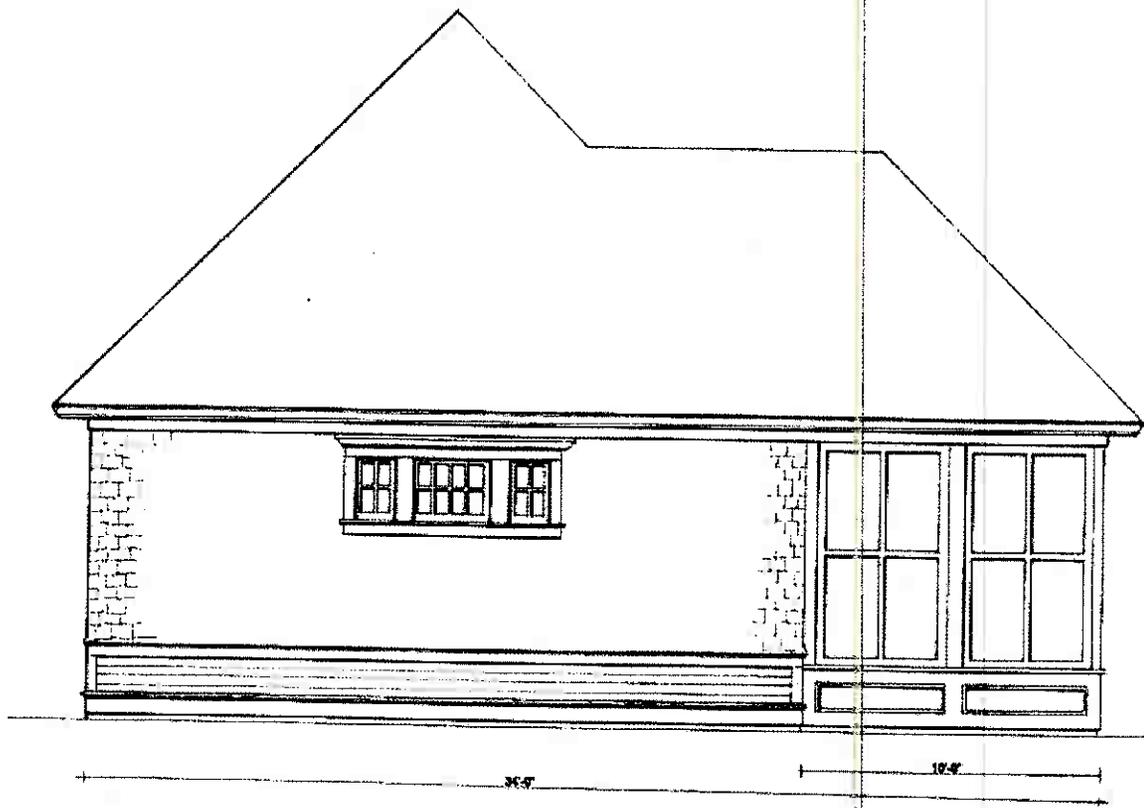
West Elevation

Scale: 1/2" = 1'-0"



Looking south at  
site for new garage

South



**THE  
NORTH  
POINT**

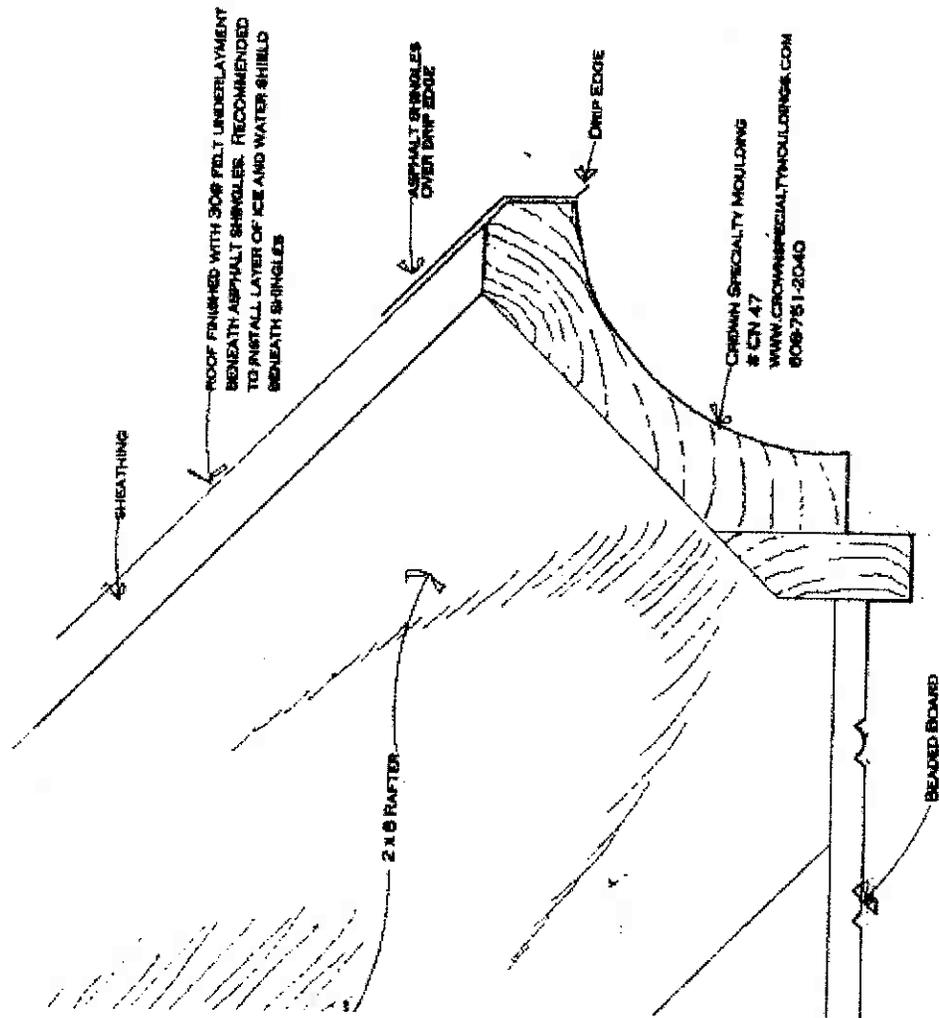
A TWO-CAR GARAGE  
WITH CONSERVATORY

2885 N. LAKE DRIVE

REPRODUCTION WITHOUT  
PERMISSION PROHIBITED

South Elevation

Scale: 1/2" = 1'-0"



# THE NORTH POINT

A TWO-CAR GARAGE  
WITH CONSERVATORY

2655 N. LAKE DRIVE

REPRODUCTION WITHOUT  
PERMISSION PROHIBITED

Rafter Detail

Scale: Full Size

THE  
NORTH  
POINT

A TWO-CAR GARAGE  
WITH CONSERVATORY

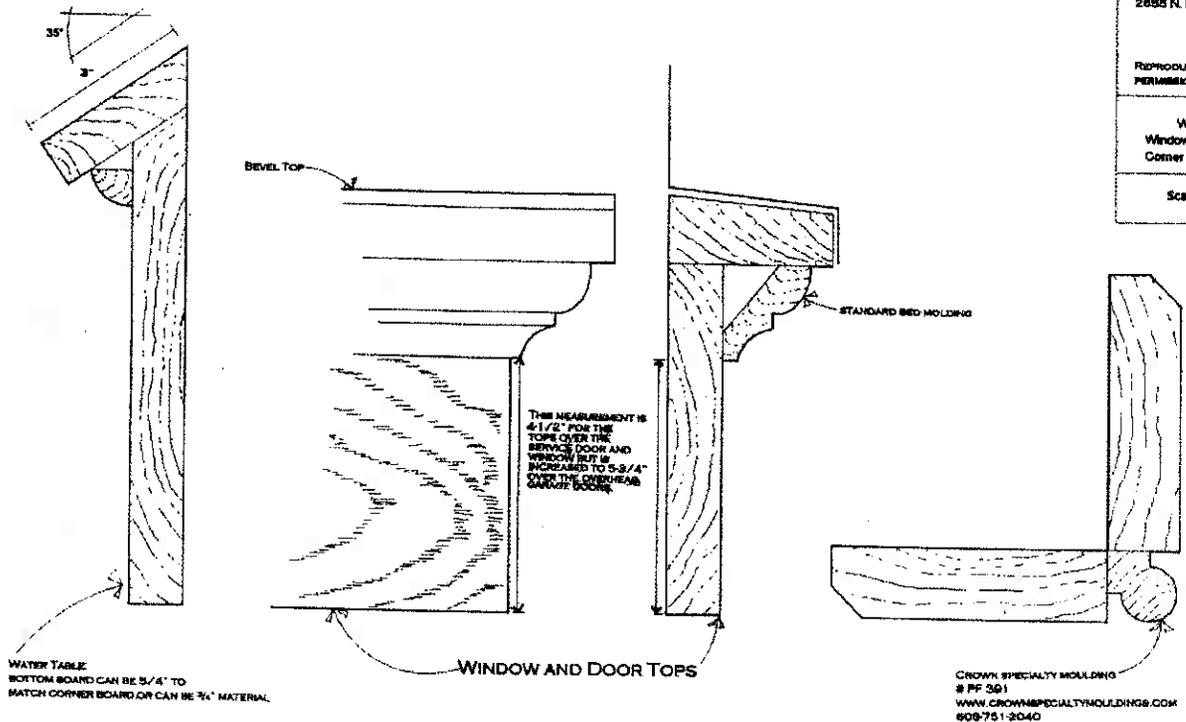
2655 N. LAKE DRIVE

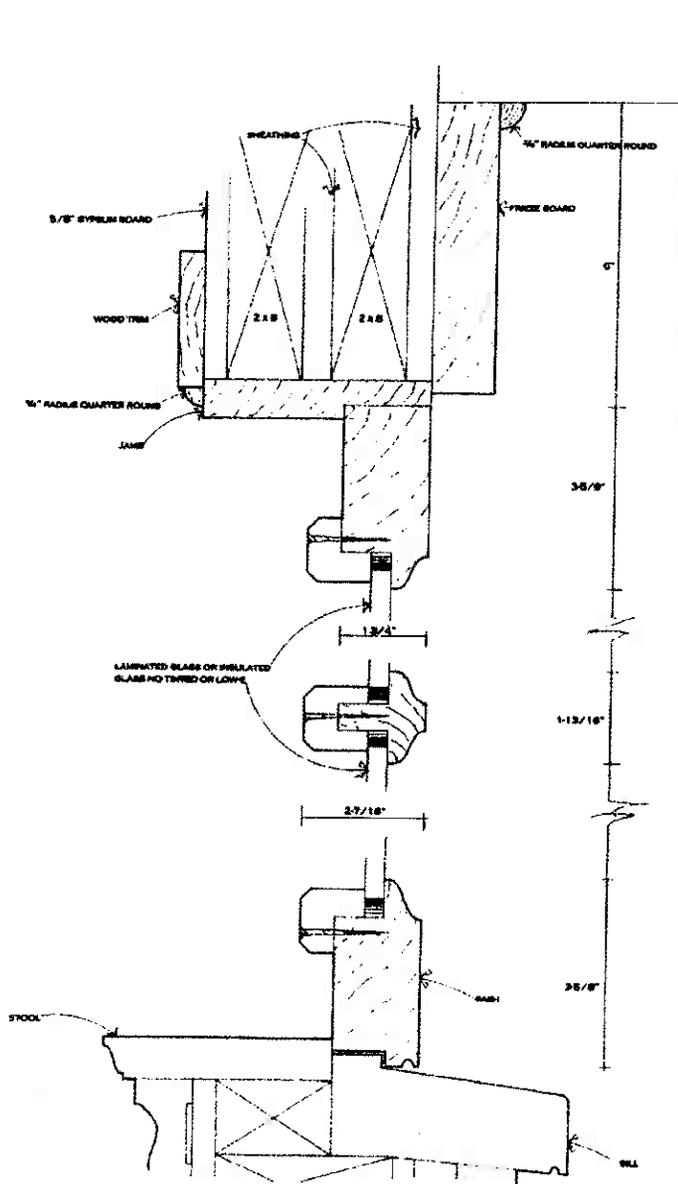
REPRODUCTION WITHOUT  
PERMISSION PROHIBITED

Water Table  
Window and Door Tops  
Corner Post Trim Detail

Scale: Full Size

NOTE:  
ALL WOOD FOR TRIM MUST BE SMOOTH, FREE OF KNOTS AND BAPWOOD.  
NATURALLY DECAY-RESISTANT SPECIES ARE HIGHLY RECOMMENDED SUCH  
AS WESTERN RED CEDAR, WHITE CEDAR, CYPRESS, REDWOOD





THE  
NORTH  
POINT

A TWO-CAR GARAGE  
WITH CONSERVATORY

2088 N. LAKE DRIVE

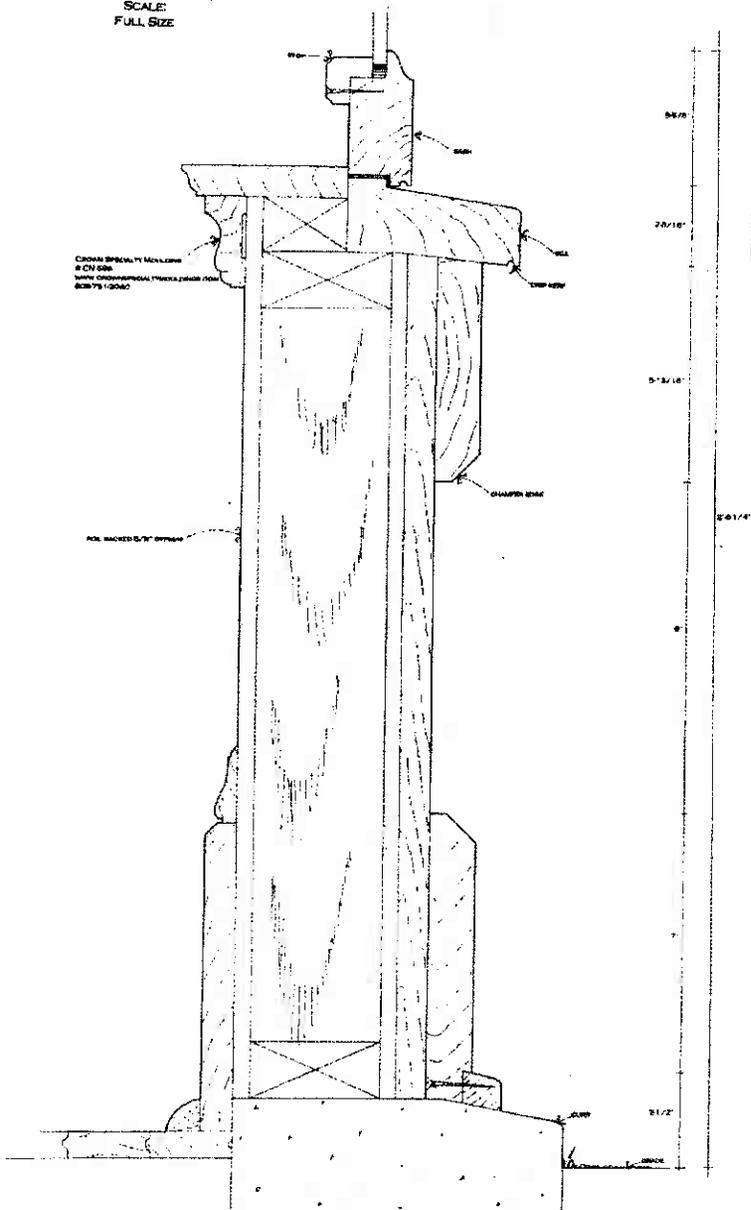
REPRODUCTION WITHOUT  
PERMISSION PROHIBITED

Section Through  
Conservatory Windows

Scale: Full Size

Wall section thru  
conservatory wall above the  
bulkhead

BULKHEAD  
SCALE:  
FULL SIZE



THE  
NORTH  
POINT

A TYPICAL WALL  
WITH OBSERVATORY

2005 N. LAW DR. #4

REPRODUCED WITH THE  
PERMISSION OF THE  
ARCHITECT

Section Through  
Bulkhead

Scale: Full Size

Wall section thru bulkhead in conservatory

# THE NORTH POINT

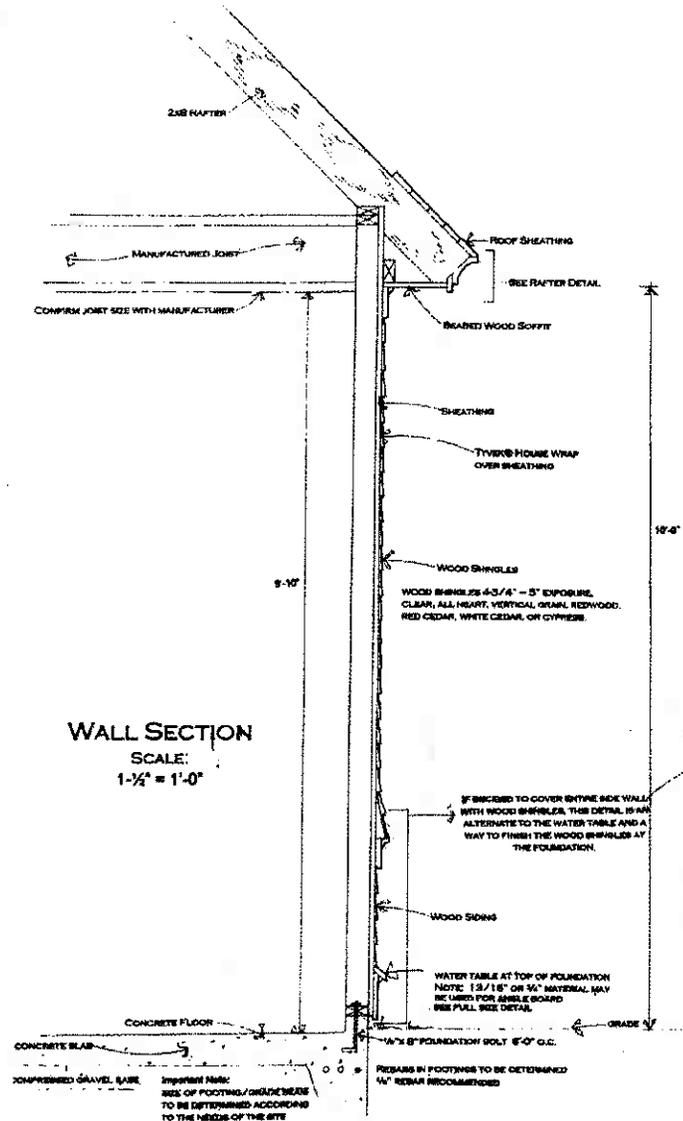
A TWO-CAR GARAGE WITH CONSERVATORY

2858 N. LAKE DRIVE

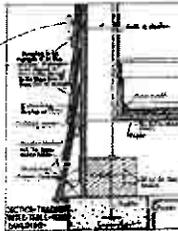
REPRODUCTION WITHOUT PERMISSION PROHIBITED

Wall Section

Scale: 1-1/2" = 1'-0"



WALL SECTION  
SCALE:  
1-1/2" = 1'-0"



Wall Section

OUTSIDE SILL LINE

1-1/4" TRIM BOARD

CHAMFER EDGE

CROWN SPECIALTY MOULDING  
# PF 381  
CROWN.SPECIALTYMOULDINGS.COM  
908-751-2040

1-5/16" SPACE

4x4

1" SCREEN

CROWN SPECIALTY MOULDING  
# PF 382  
WWW.CROWN.SPECIALTYMOULDINGS.COM  
908-751-2040

INTERIOR STUOL LINE

1" SCREEN

STOP

# THE NORTH POINT

A TWO-CAR GARAGE  
WITH CONSERVATORY

2855 N. LAKE DRIVE

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Corner Post Detail

Scale: Full Size

CORNER POST  
SCALE:  
FULL SIZE

