

North Point North



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property 2667 N. SUMMIT AV.
Description of work Install new all wood shutters (outside blinds) on front of house using operable hardware.
Date issued 12/19/2008 PTS ID 53462 Outdoor Blinds (shutters)

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Shutters (outside blinds) will be all wood, sized to fit each window opening and installed on operable hardware. Shutters (outside blinds) will be built according to attached photos.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.

Paul Jakubovich
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Nik Kovac, Inspector Jim Friedrichs (286-5982)



Illustrations of shutters (outside blinds) to be installed



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Property 2667 N. SUMMIT AV.

Description of work In stall new wood dog-ear style privacy fence in back yard.

Date issued 10/30/2008 PTS ID 54806 COA, dog ear style wood privacy fence in back yard

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to the attached drawings.

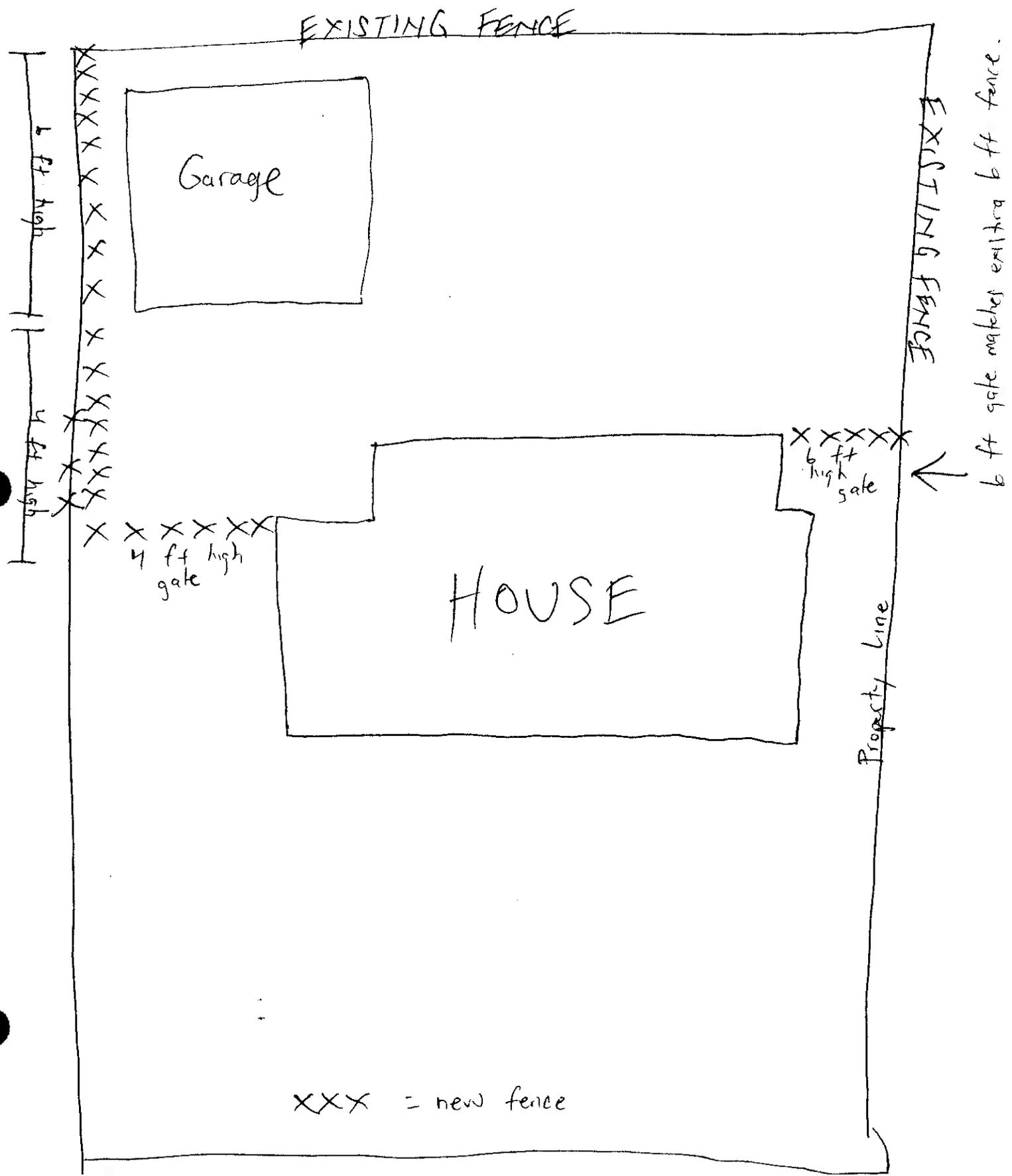
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Map of Fence 2667 N SUMMIT AVE

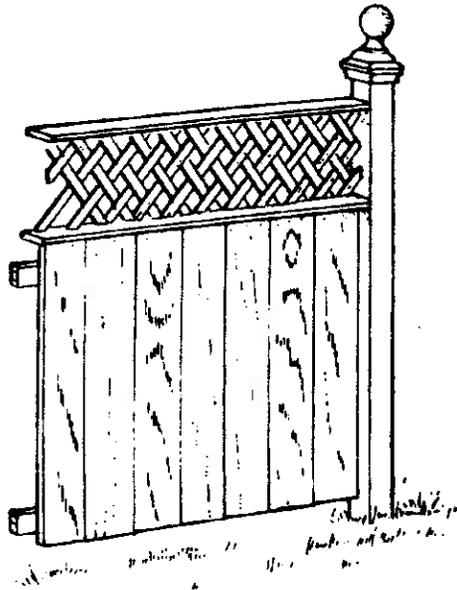


Fences

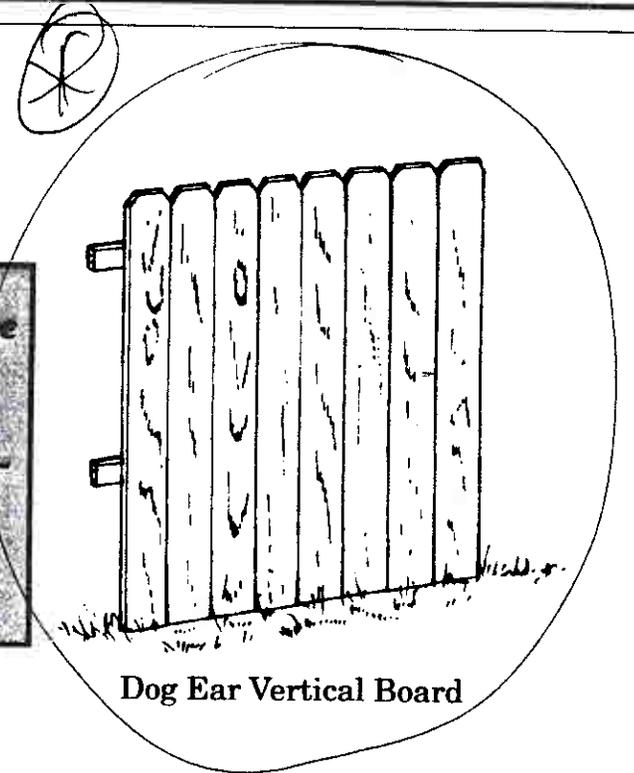
Yes! 

Common Privacy Fences

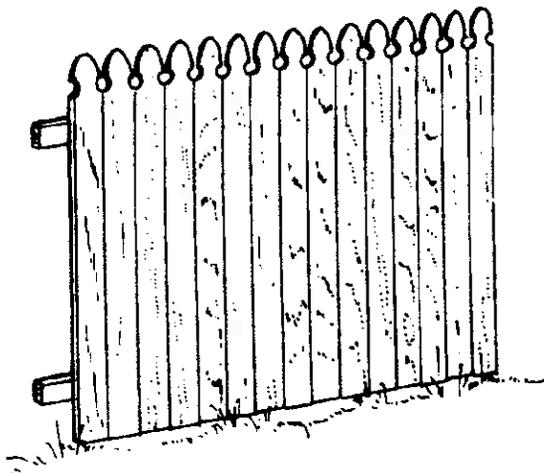
A privacy fence, which is intended to obstruct the view into a yard, should only be built in rear yards. The privacy fences on this page are compatible with most houses built before 1940. Most of these styles are available at building supply stores in ready-made sections or can be built from stock lumber. The finished side of a privacy fence must always face out to the public right-of-way or the neighboring property.



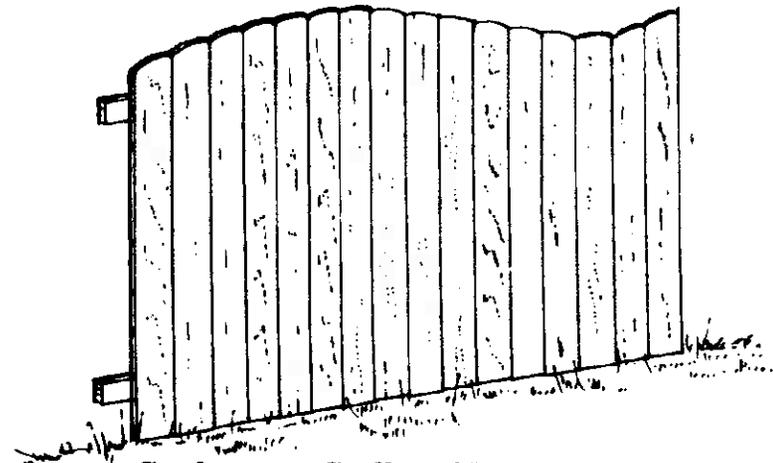
Board and lattice, also called a "treillage fence"



Dog Ear Vertical Board



French Gothic Vertical Board



Sunburst or Scalloped Vertical Board



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Property

2667 N. SUMMIT AV., Robert Trainer, owner/applicant

Description of work

1) Backyard Patio: Demo and new construction of patio. New Patio will be similar in size and will be comprised of concrete-based blue stone and Lannon stone. Relocated existing wood pergola from the middle of the yard to the back wall of the house.

2) Side Driveway: Demo existing drive, replace with new concrete and patio matching blue stone and Lannon stone.

3) Brick Walkway: New brick walk from new garage to new patio.

4) Fence: Install new wood fencing to match existing fence along driveway/Southwest lot. Also install new fence and gate extended off of North fence along property line.

5) Install new trees and shrubs in backyard. Install new birch tree in front.

Date issued

9/9/2008

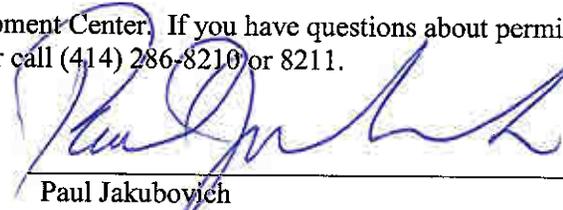
PTS ID 53465 Backyard Construction/Re-design

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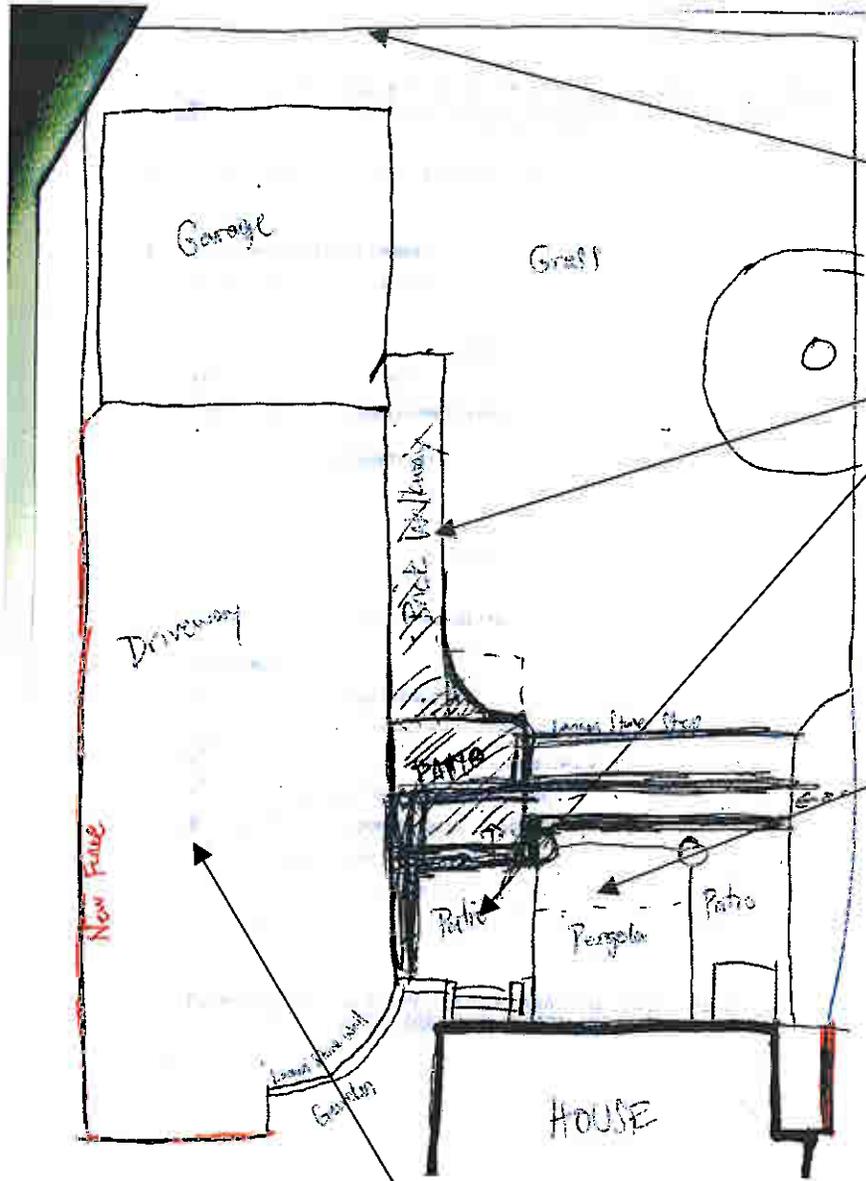
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**Site plan for work at 2667 N. Summit,
North Point North Historic District**



New wood fence to match existing

New brick walk and stone patio

Relocate Existing pergola to the back wall of the house

New concrete driveway

North Point
North



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Property 2667 N. SUMMIT AVE. Robert Trainer, owner

Description of work Demolish existing 2-car detached garage.

Date issued 8/20/2008 PTS ID 52794 Construct new 2-car detached garage; demo old garage

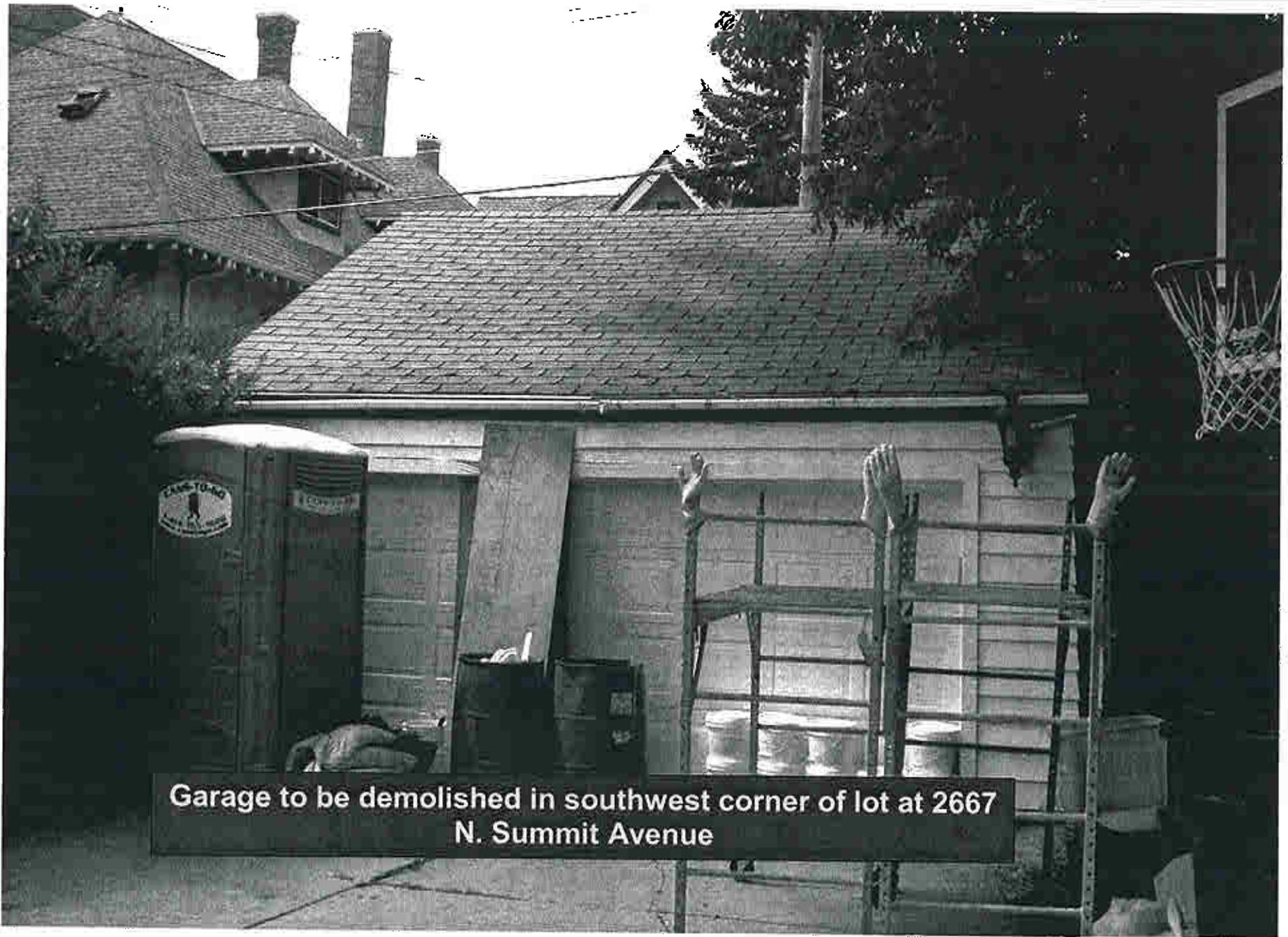
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Garage will be razed and new garage will be constructed in its place. Separate COA to be issued for new garage. All work to be done according to attached photo. All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

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City of Milwaukee Historic Preservation

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**Garage to be demolished in southwest corner of lot at 2667
N. Summit Avenue**

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Property

2667 N. SUMMIT AV. Robert Trainer, owner

Description of work

Strip all layers on main roof and redeck with 7/16" OSB, Install 15lb felt, new drip edge, metal valleys, and continuous roof ridge vent. Install water and ice shield. Install 30 yr Oakridge Pro 30 by Owens Corning, Estate Gray color dimensional shingle. Install membrane covering on flat porch roofs both front and rear. Install new aluminum gutters to match existing.

Date issued

8/15/2008

PTS ID 52847 Roof reshingle

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached specifications and photo. No original features will be removed from the roof. A continuous ridge vent may be installed. If box-type roof vents are installed, they must be on the back slope of the roof, not visible from the street and painted to blend with the color of the roof.

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**Reshingle roof. Continuous ridge vent may be used.
Box vents, if used, must be on the back slop and
painted to blend with the roof color**



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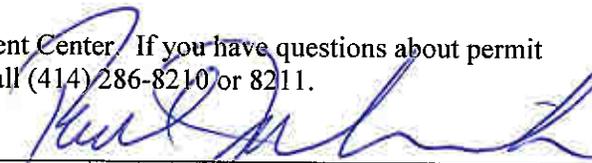
Property 2667 N. SUMMIT AVE. Robert Trainer, owner
Description of work Chemically clean all brick. Completely tuck-point entire building after carefully removing mortar to an average depth of about 3/4." Lime putty based mortar to be used for repointing. Wash brick with vinegar and water for clean-up.
Date issued 7/2/2008 PTS ID 51569 Tuckpointing and Masonry Cleaning

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Repointing and cleaning and will be done following the approved test panel on the south elevation reviewed by HPC staff on 7/2/2008. ***Abrasive blasting of any kind is not permitted.*** Care must be used when removing mortar from the narrow joints so that the edges of the brick remain undamaged and that the new mortar joints remain the same width as the original joints. Note that the test panel showed no damage to the edges of the brick and that this standard should be maintained throughout the project. New mortar must match original in terms of hardness, texture, joint finish and joint width. Gently rake or brush joints to a uniform joint finish about 1/8" below the face of the brick.

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