

Burnham St. Hist. Dist.



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property

2714 W. BURNHAM ST.

Description of work

- Removal of all exterior stucco systems back to structure.
- Removal of all roofing material down to roofing structure.
- Demolition of enclosed porch addition located on south elevation.
- Strip finish and stain (to match original) all exterior wood trim.
- New 3-coat plaster system applied with granite broadcast to match original stucco finish at the time of construction. No control joints.
- New EPDM roofing system.
- Reconstruction of wood trellis over front entry door, to match existing sample.
- Repair and relining of front planter.
- Repaint/replace metal fascia at roof edge.
- Storm doors added to front and back entries.

Date issued

6/26/08

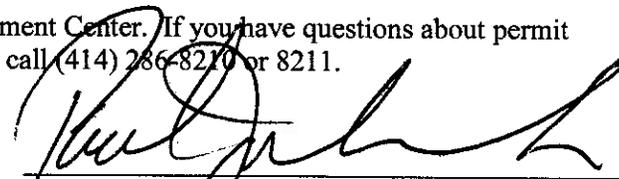
PTS ID 28654 COA - Exterior Restoration

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

- The work must be done according to the attached drawings and/or photos, any changes must be approved by HPC staff.
- All original wooden windows on the building will be retained and repaired. They may be removed only for repair. No vinyl or aluminum or metal clad windows allowed. **Any other replacement windows must be reviewed and approved by HPC staff.**
- Wood trim will be retained and repaired. Damaged or missing trim may be replaced with new wood that **matches exactly the size and profile of the old trim.**
- All finish wood must be smooth and free from knots and sapwood. All wood must be painted or stained as soon as possible to protect from weather. Please note that research has shown that when new bare wood is exposed to the elements for a period of only a week or two, the life of the paint job applied to it is likely to be decreased.
- Staff suggests replacement wood be of a naturally decay resistant variety.
- All original wooden doors on the building will be retained and repaired. They may be removed only for repair. No vinyl or aluminum or metal clad doors allowed. Any other replacement doors must be made with like materials that **matches exactly the size and profile of the original and be reviewed and approved by HPC staff.**
- Metal Fascia at roof edge is to be repaired where possible or replaced with like material that **matches exactly the size and profile of the original and be reviewed and approved by HPC staff.**

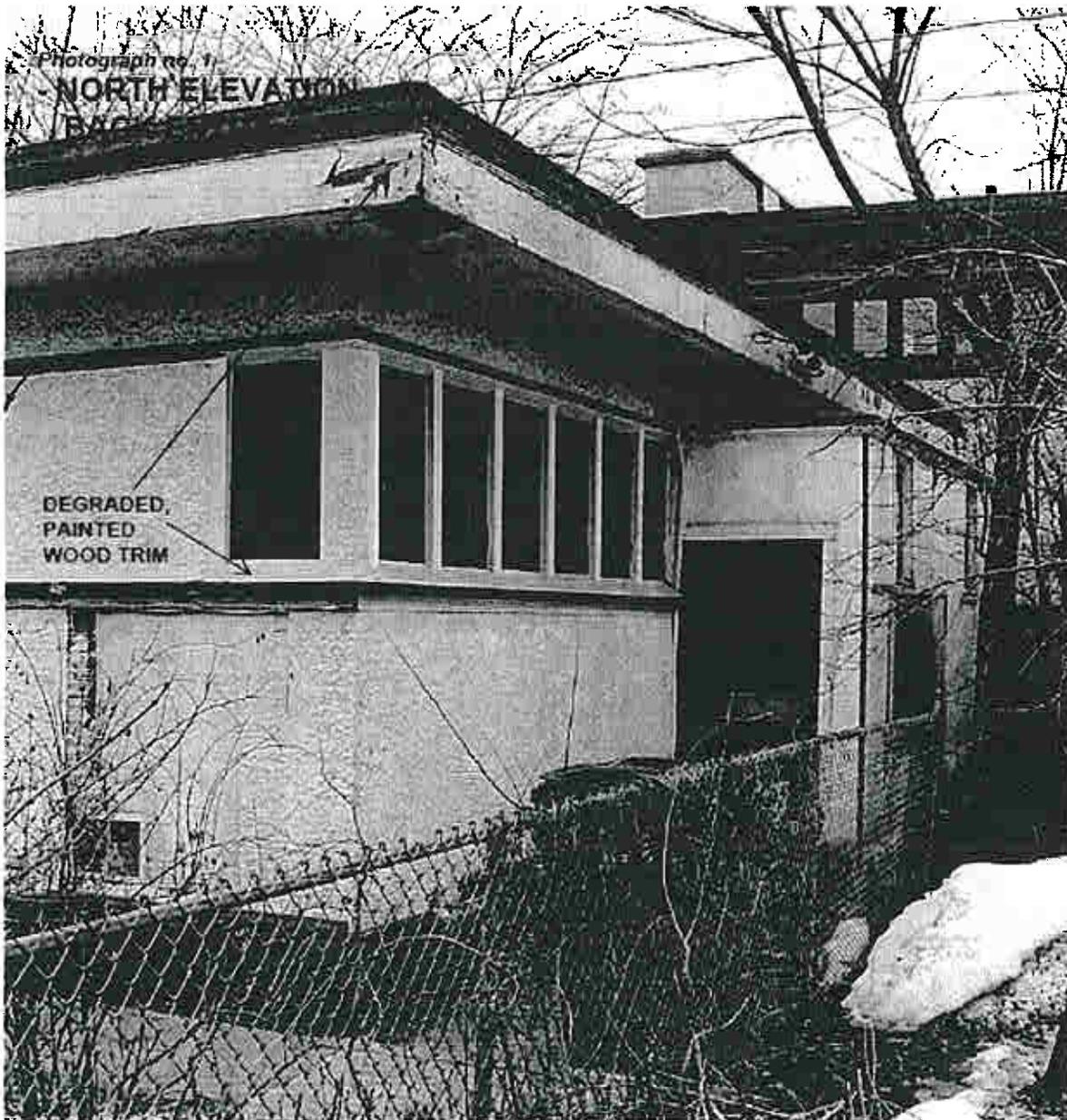
All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.



City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Robert Donovan, Uihlein /Wilson Architects, Inspector Greg Eighme (286-2537)



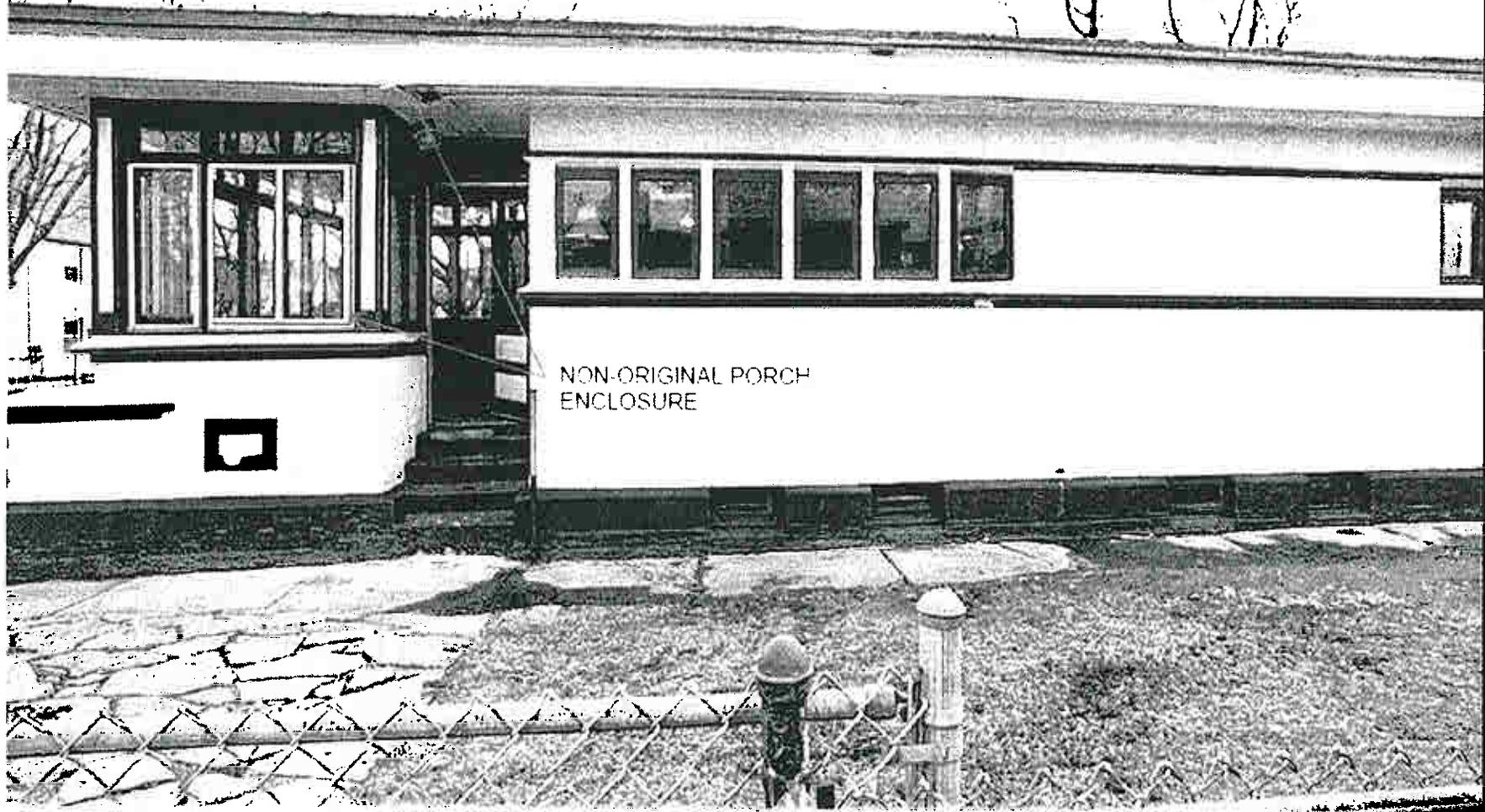
Photograph no. 1

NORTH ELEVATION

DEGRADED,
PAINTED
WOOD TRIM

Photograph no. 2

**- EAST ELEVATION -
FRONT ENTRY**



Photograph no. 3

**- SOUTH ELEVATION -
ENCLOSED PORCH ADDITION**

