



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5212

Property

2843 W. STATE ST.

Description of work

Raise second floor sun porch on east elevation.

Restore front porch and side porch beneath sun porch.

Date issued

9/24/2007

PTS ID 45714 COA - Porch Restoration / Structural Repair

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

- The work must be done according to the attached drawings and/or photos, any changes must be approved by HPC staff.
- All finish wood must be smooth and free from knots and sapwood. All wood must be painted or stained as soon as possible to protect from weather. Please note that research has shown that when new bare wood is exposed to the elements for a period of only a week or two, the life of the paint job applied to it is likely to be decreased.
- Reuse existing square and round columns and capitals. Bases may be repaired with structural wood epoxy or appropriate substitute bases may be used that are approved by HPC staff.
- Original balustrades should be reused on front porch. Matching turned or square balustrades may be used on the side and back of porch. **Spacing must match existing.**
- Latticework shall be reused or duplicated exactly as it is now.
- Original guardrails on deck must be reused or duplicated exactly to match.

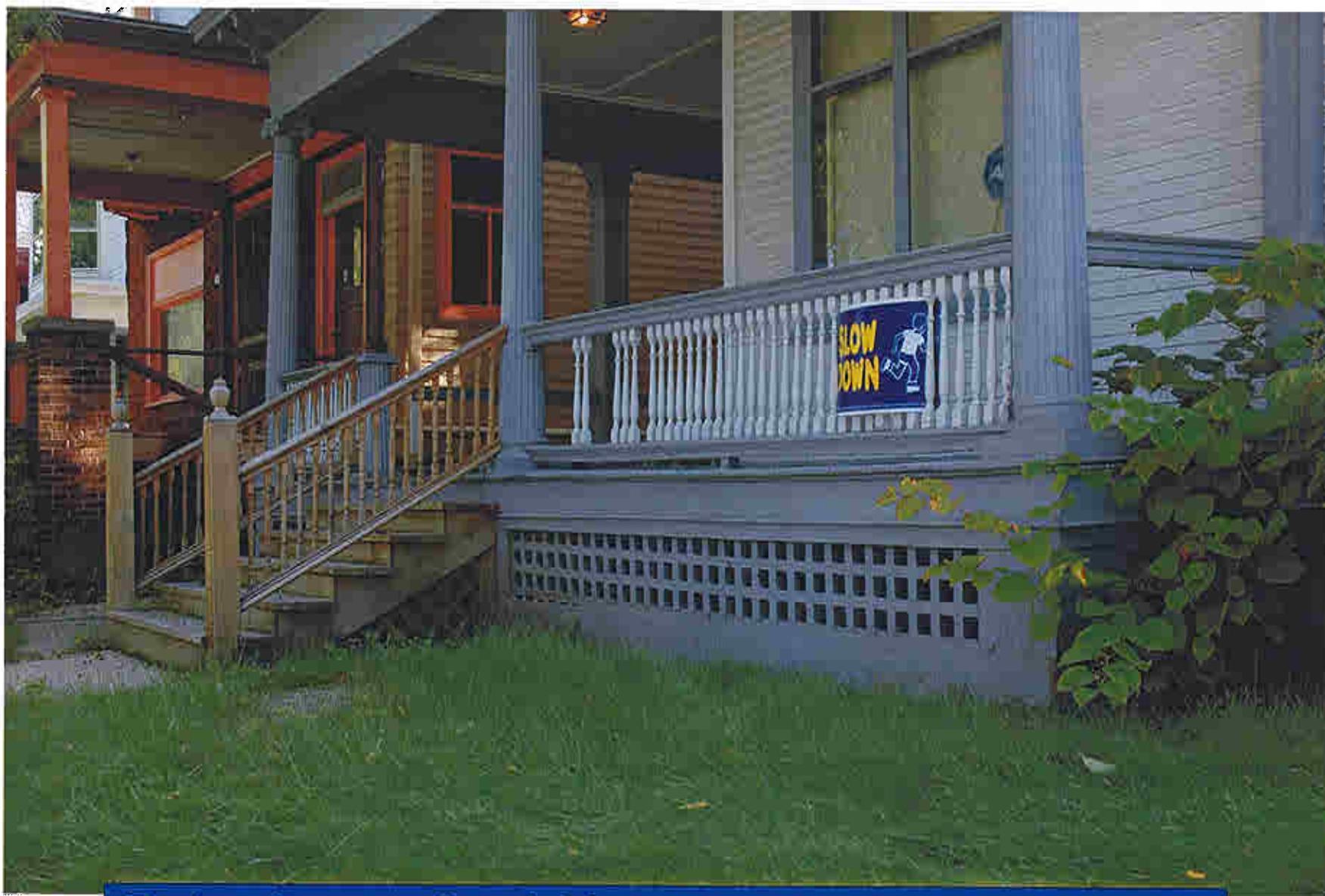
All work must be done in a craftsman-like manner, and must be completed within **6 months** of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.



City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Robert Bauman, Inspector Tim Bolger (286-2536)



Restore front porch and side porch in kind, beneath sun porch.



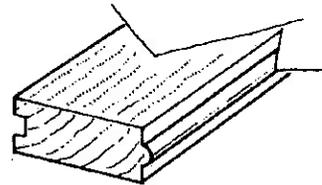
Raise second floor sun porch on east elevation.

Porches



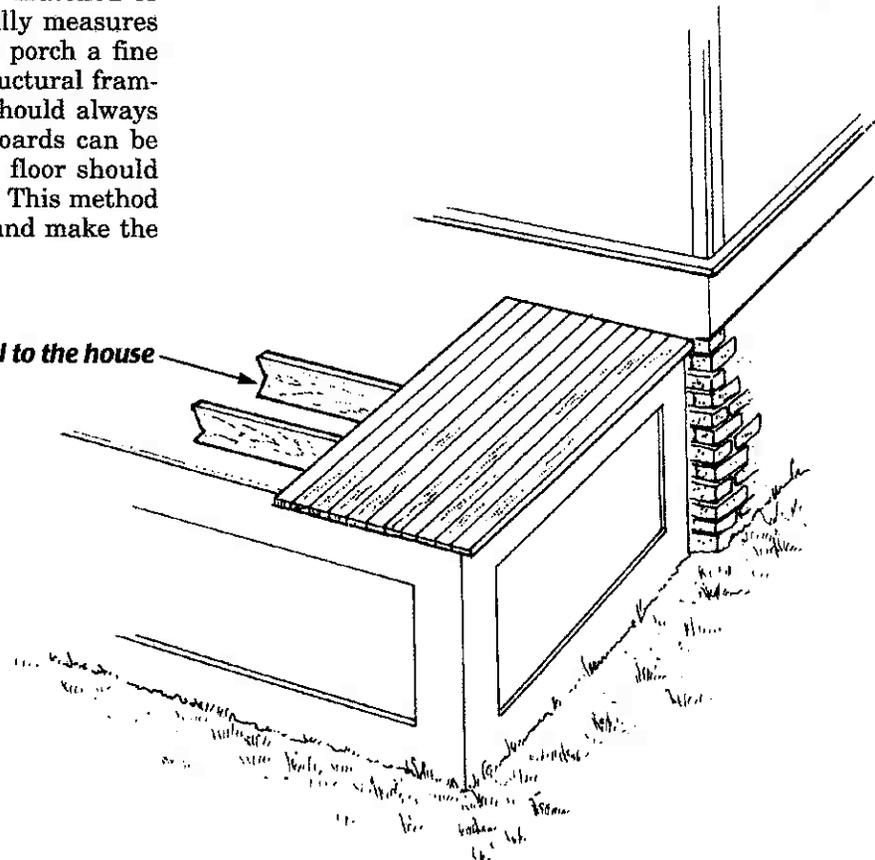
Traditional Porch Floors

Porch floors should be constructed of center matched or tongue-and-groove wooden flooring, which typically measures 2-1/4" wide by 3/4" thick. This flooring gives the porch a fine finished appearance. The joists, which are the structural framing members to which the flooring is attached, should always be run parallel to the house so that the floor boards can be installed perpendicular to the house. The porch floor should also be very slightly pitched away from the house. This method of construction for a porch floor will shed water and make the porch last longer.



Center match or tongue-and-groove flooring

Joists parallel to the house





Latticework shall be reused or duplicated exactly as it is now.



Original guardrails on deck must be reused or duplicated exactly to match.

**Reuse existing square and round columns.
Bases may be repaired with structural wood epoxy or appropriate substitute
bases may be used that are approved by HPC staff.**



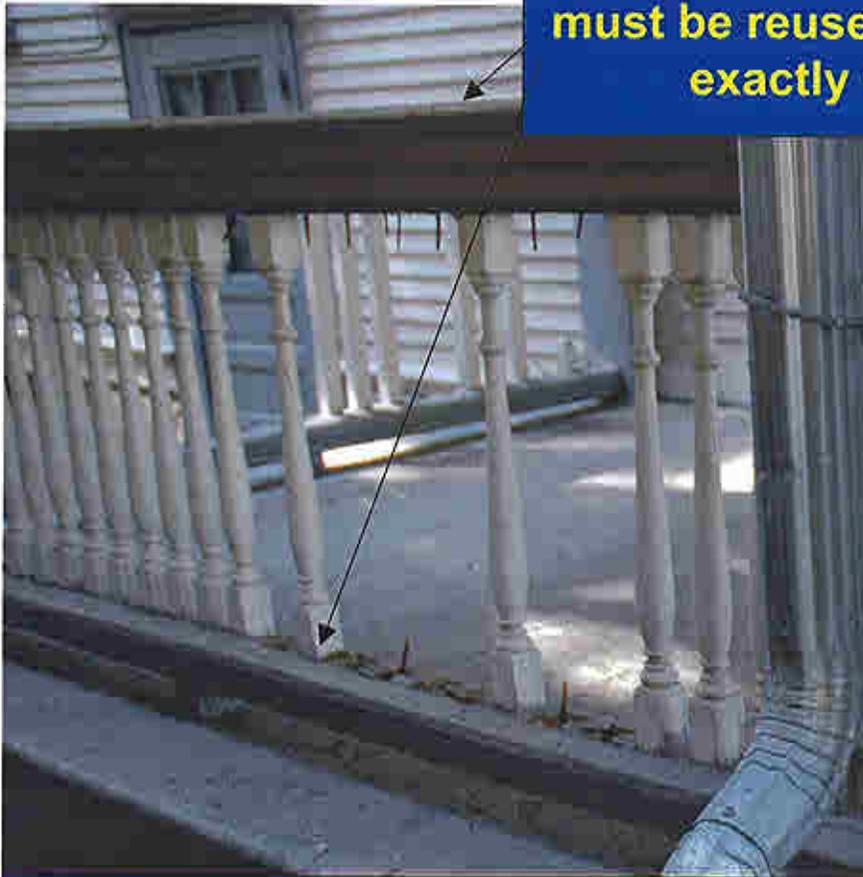
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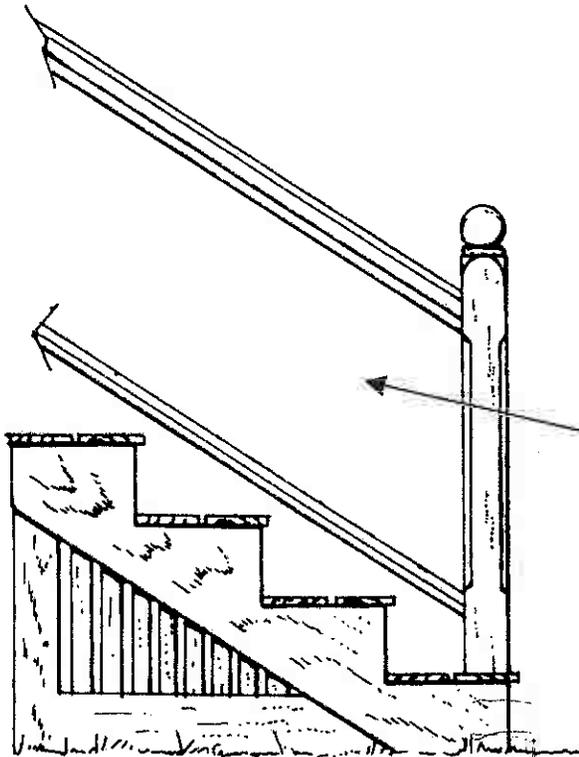
Side porch original balustrades.



Front porch missing balustrades.

Original turned balustrades from side porch may be removed as needed and reused on front porch. Matching turned or square balustrades may be used on the side and back of porch.

Porches



Side porch construction with solid newel post.

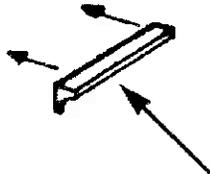
Place turned balustrades to match original.

The design of a staircase handrail should match the railing around the porch deck.

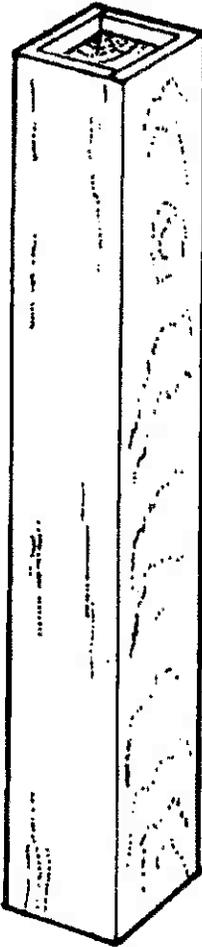
Alternative
box newel
for porch.

7-1/2"

Post cap



Cove molding



Newel post

5"