



# Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

**Property** 3230 E. KENWOOD BL.  
**Description of work** Remove original slate roof and install new slate roof that will be the approximate color, dimension, and gradation of the original  
**Date issued** 12/4/2009 PTS ID 24556 COA Replace Slate Roof

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

**All work shall coincide with submitted and approved drawings and photos.**

**The new slate roof will be replicated in color, texture, size, dimension and irregularity of the original following the photo documentation and mapping made of the original. New flashings, gutters and leader boxes will replicate the originals in material and style.**

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. **Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations.** If you require technical assistance, please contact Carlen Hatala of the Historic Preservation staff as follows: Phone: (414) 286-5722 Fax: (414) 286-0232 E-mail: [chatal@milwaukee.gov](mailto:chatal@milwaukee.gov).

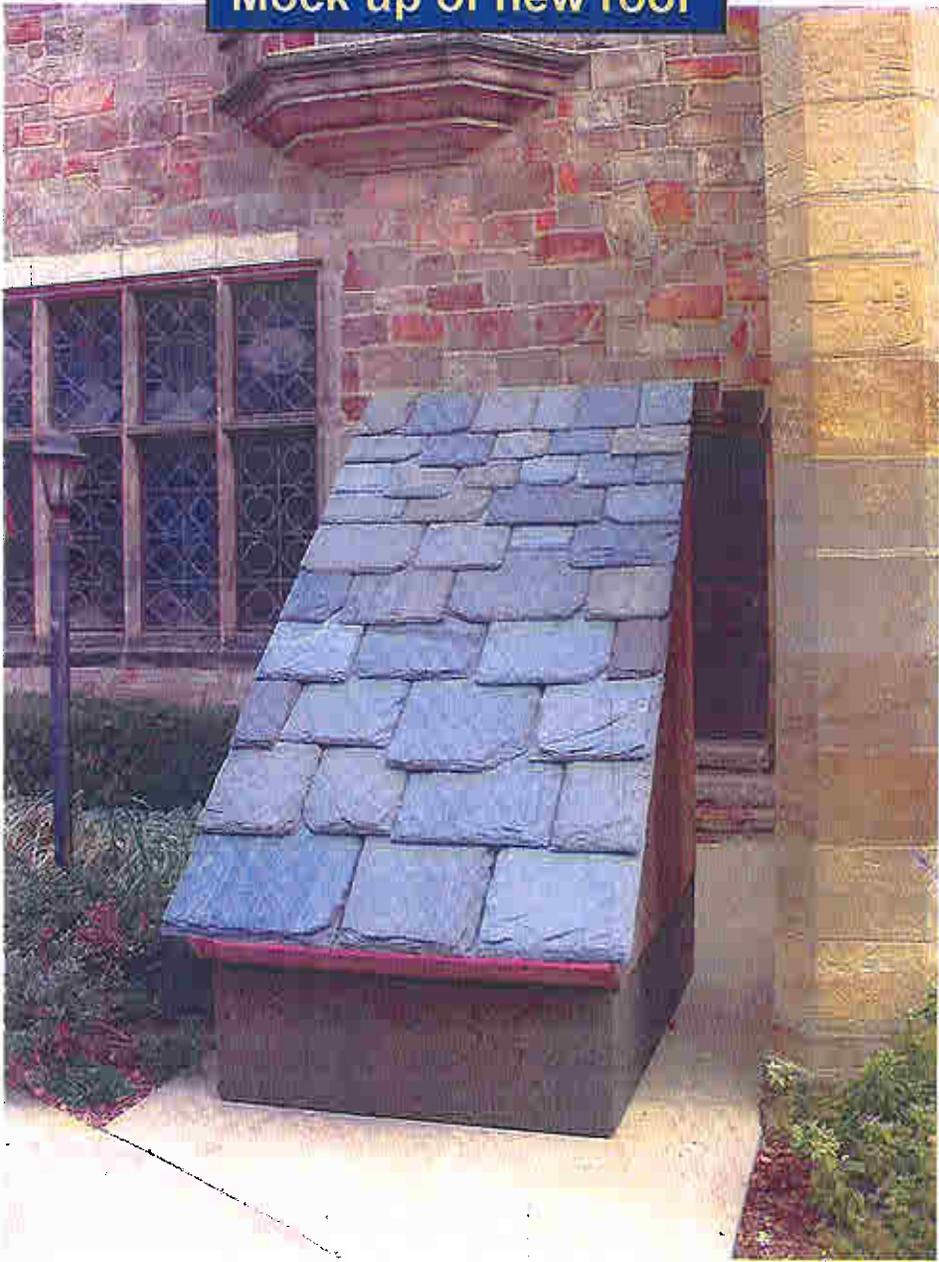
**If permits are required, you are responsible for obtaining them from the Milwaukee Development Center.** If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210 or 8211.

Carlen Hatala  
City of Milwaukee Historic Preservation

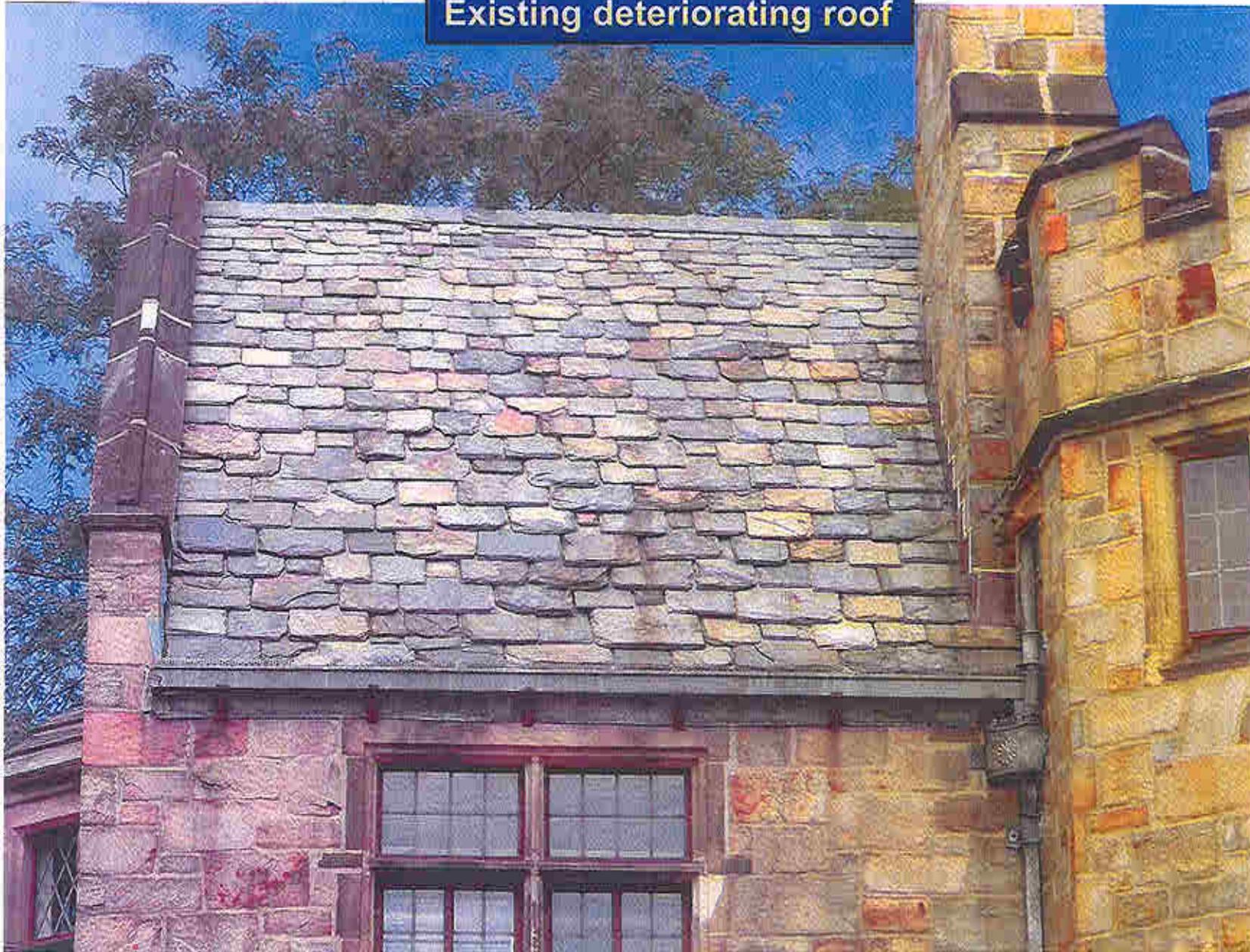
Copies to: Development Center, Ald. Nik Kovac, Inspector Jim Friedrichs (286-5982)



Mock up of new roof



Existing deteriorating roof





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**Property**

3230 E. KENWOOD BL.

**Description of work**

Enlarge all of the existing overflow relief scuppers on the two North bays in order to facilitate drainage. Scuppers will have metal flues to prevent overflow water from running down the walls. Existing access door at 2nd floor porch will be removed and shortened 4 1/2" in length to allow for a new higher sill. Existing porch roofing will be replaced with 60 mm EPDM membrane over tapered insulation to ensure proper drainage.

**Date issued**

11/03/2008

PTS ID 24556 COA, enlarge porch scuppers & shorten door

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work to be done according to attached drawings and images.

**None of the lead downspouts and straps will be removed.**

**Any new rain heads must match exactly the design and material of the original lead rain heads.**

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Paul Jakubovich

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Nik Kovac, Vincent D. Milewski-Contractor , Inspector Jim Friedrichs (286-5982)



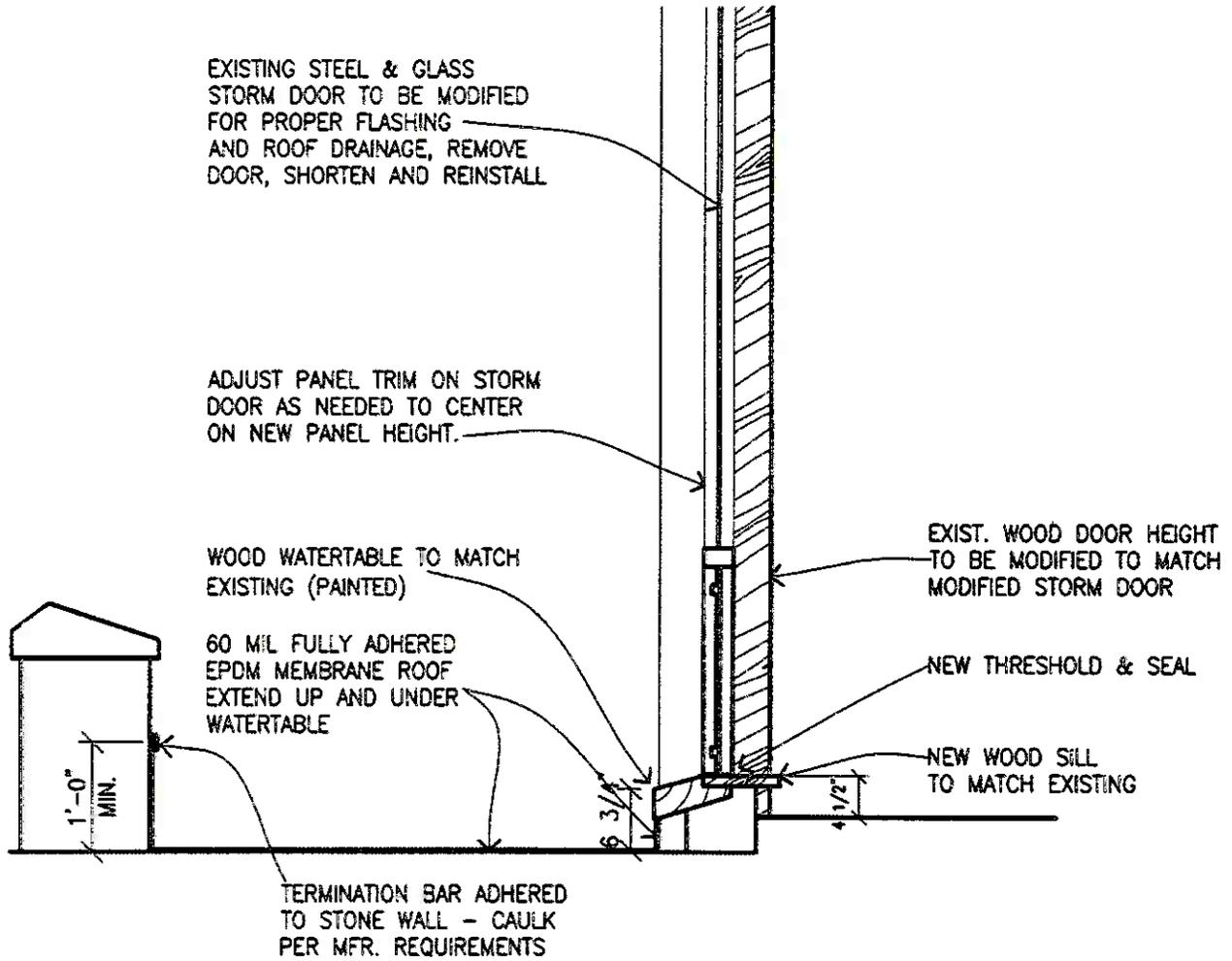
**Scupper to be enlarged**



Porch access door to be shortened 4 1/2" up to water table, panel will be recentered

New 60 mm EPDM roof membrane over tapered insulation

GENERAL NOTE: PRIOR TO THE INSTALLATION OF THE NEW 60 MIL. ROOFING ALL EXISTING ROOFING SHALL BE REMOVED, THE ROOF SHEATHING SHALL BE INSPECTED AND REPLACED IF NECESSARY. PROVIDE NEW TAPERED INSULATION IF/AS NECESSARY TO INSURE PROPER DRAINAGE.



# SECTION THROUGH MODIFIED DOOR

SCALE: NTS



Mrs. Myron McLaren House



# Certificate of Appropriateness

**LIVING WITH HISTORY**

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

**Property** 3230 E. KENWOOD BLVD. Daniel Stephans, Dept. of Administration, applicant

**Description of work** Install temporary asphalt shingle patch over wood sheathing in place of missing slate on east side of roof (lake-facing elevation, southeast corner).

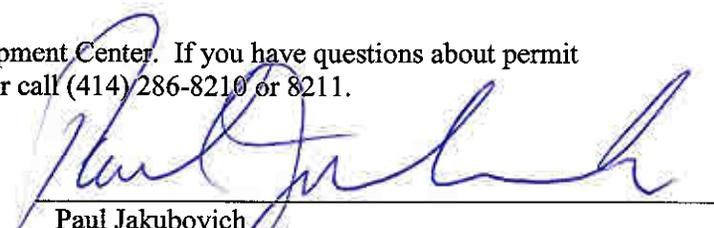
**Date issued** 1/30/2008 PTS ID 24556 COA, temporary asphalt shingle patch over missing slate

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached photo and specifications. This will be a temporary patch to protect the building from the weather where slate was recently removed at the southeast corner of the building. Plans for restoring the mansion's slate roof will be reviewed and approved under a separate Certificate of Appropriateness.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

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City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Michael D'Amato, Inspector Jim Friedrichs (286-5982)



Temporary patch of asphalt shingles over plywood sheathing to be installed in area where slate had been recently removed at southeast corner of building. This will protect the building and roof until plans for a roof restoration are submitted and approved.

Looking north at the Mac Laren House, 3230 E. Kenwood Blvd.



# Certificate of Appropriateness

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Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5212

**Property** 3230 E. KENWOOD BL.

**Description of work** Flat roof repairs.

**Date issued** 8/28/2007

PTS ID 24556 COA - Flat roof repair

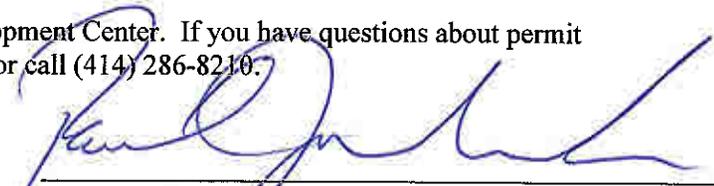
In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Complete repair of existing flat roof sections with new membrane roofing. **None of work may be visible from ground.**  
**No work can be done to the slate at this time.**

*See attached drawings*

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

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City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Michael D'Amato, Inspector Jim Friedrichs (286-5982)

# ROOF PLAN

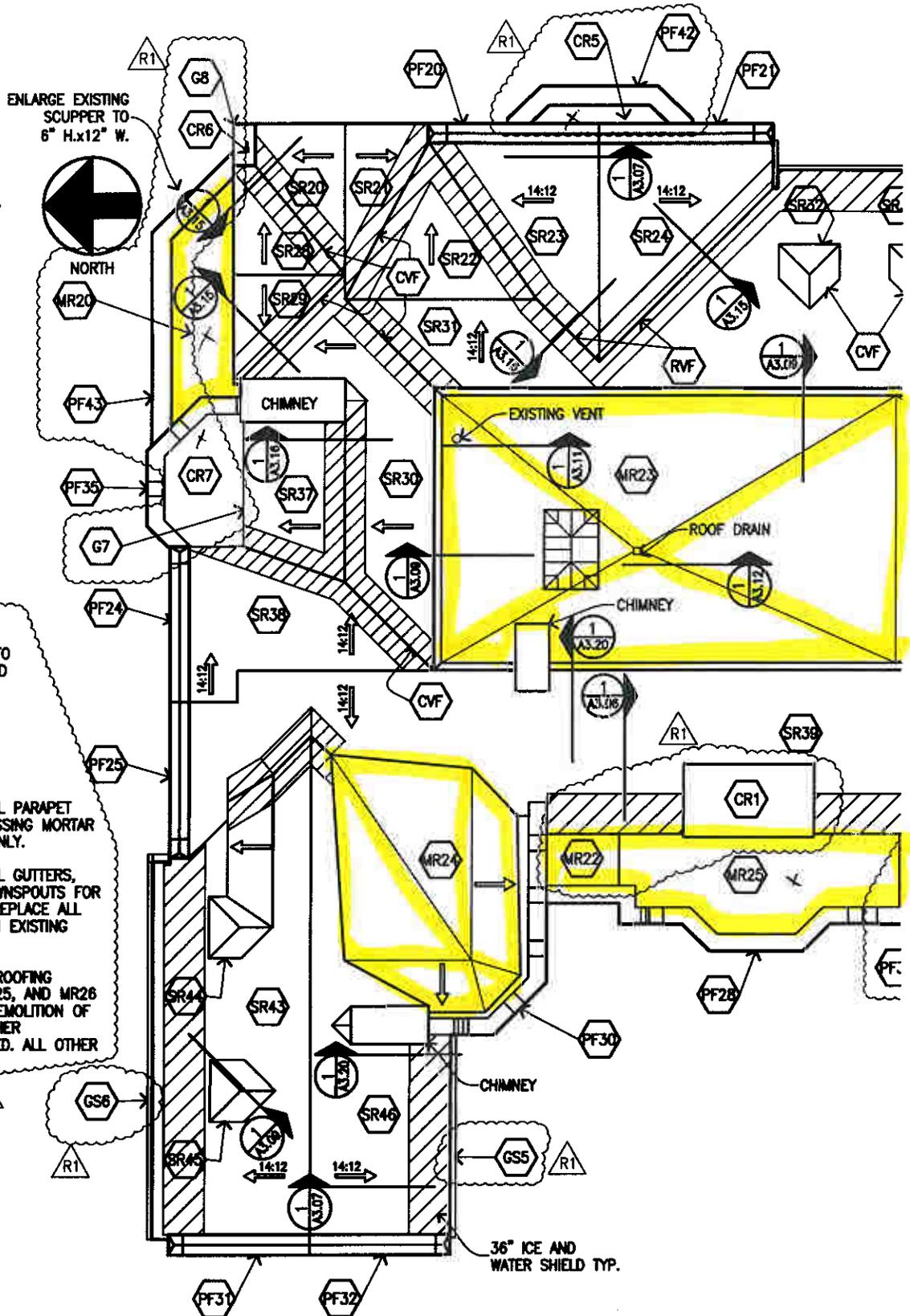
SCALE: NTS

## LEGEND

-  SLATE ROOFING
-  MEMBRANE ROOFING
-  PARAPET FLASHING
-  DORMER WALL
-  ROUNDED VALLEY FLASHING  
SEE DETAIL 1/A3.15  
USE AT ALL ROOF U.N.O.
-  CLOSED VALLEY FLASHING  
SEE DETAIL 1/A3.14  
USE AT DORMER VALLEYS
-  GUTTER SYSTEM
-  EXISTING COPPER ROOFING TO  
RECEIVE NEW FULLY ADHERED  
EPDM MEMBRANE COVERING  
EXCEPT CR6

## GENERAL NOTES:

1. CONTRACTOR TO INSPECT ALL PARAPET COPINGS FOR LOOSE OR MISSING MORTAR AND REPLACE AS NEEDED ONLY.
2. CONTRACTOR TO INSPECT ALL GUTTERS, COLLECTOR BOXES, AND DOWNSPOUTS FOR DEFICIENCIES. REPAIR OR REPLACE ALL DEFICIENT ITEMS. TO MATCH EXISTING CONSTRUCTION.
3. DO NOT REPLACE EXISTING ROOFING NOTED AS MR22, MR24, MR25, AND MR26 UNLESS DAMAGED DURING DEMOLITION OF THE SLATE ROOFING, OR OTHER DEFICIENCIES ARE DISCOVERED. ALL OTHER ROOFS TO BE REPLACED.



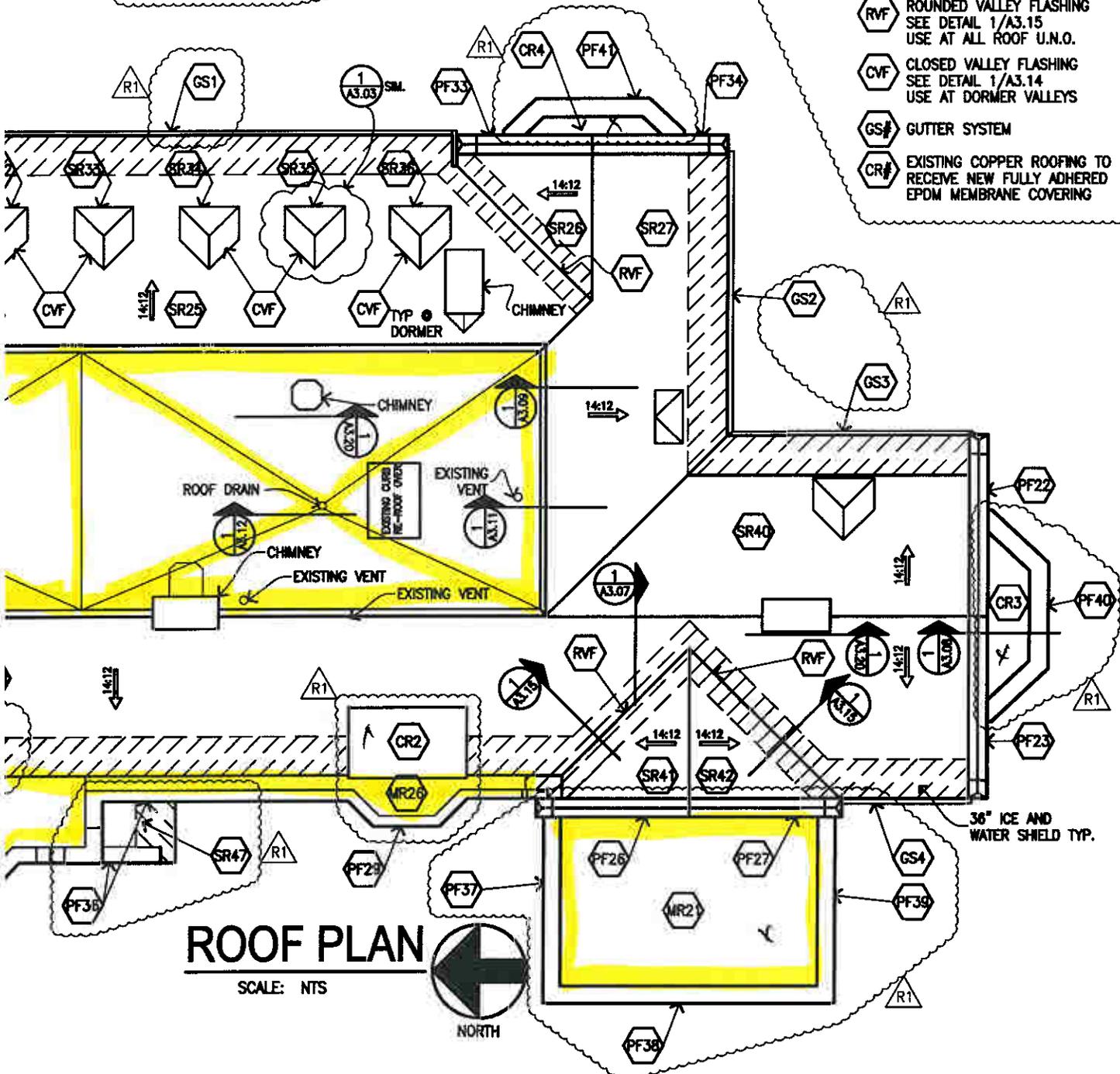
 <p>State of Wisconsin Department of Administration Division of State Facilities</p>	Project Title:	ALUMNI BUILDING RE-ROOFING	Scale:	NTS
	Project Location:	UW-MILWAUKEE MILWAUKEE, WI	R1	5/11/2007
<p>Agency / Institution: STATE OF WISCONSIN - DEPARTMENT OF ADMINISTRATION DIVISION OF STATE FACILITIES</p>	Sheet Title:	ROOF PLAN	DSF Number	06J4N
			Set Type	
			Date Issued	3/30/2007
			Sheet Number	A0.2a

**GENERAL NOTES:**

1. CONTRACTOR TO INSPECT ALL PARAPET COPINGS FOR LOOSE OR MISSING MORTAR AND REPLACE AS NEEDED ONLY.
2. CONTRACTOR TO INSPECT ALL GUTTERS, COLLECTOR BOXES, AND DOWNSPOUTS FOR DEFICIENCIES. REPAIR OR REPLACE ALL DEFICIENT ITEMS. TO MATCH EXISTING CONSTRUCTION.
3. DO NOT REPLACE EXISTING ROOFING NOTED AS MR20, MR21, MR24, MR25, MR26, MR27, MR28 AND MR29 UNLESS DAMAGED DURING DEMOLITION OF THE SLATE ROOFING, OR OTHER DEFICIENCIES ARE DISCOVERED.

**LEGEND**

- SLATE ROOFING
- MEMBRANE ROOFING
- PARAPET FLASHING
- DORMER WALL
- ROUNDED VALLEY FLASHING  
SEE DETAIL 1/A3.15  
USE AT ALL ROOF U.N.O.
- CLOSED VALLEY FLASHING  
SEE DETAIL 1/A3.14  
USE AT DORMER VALLEYS
- GUTTER SYSTEM
- EXISTING COPPER ROOFING TO RECEIVE NEW FULLY ADHERED EPDM MEMBRANE COVERING



**ROOF PLAN**

SCALE: NTS



 <p>State of Wisconsin Department of Administration Division of State Facilities</p>	Project Title:	ALUMNI BUILDING RE-ROOFING	Scale:	NTS
	Project Location:	UW-MILWAUKEE MILWAUKEE, WI	R1	5/11/2007
	Agency / Institution:	STATE OF WISCONSIN - DEPARTMENT OF ADMINISTRATION DIVISION OF STATE FACILITIES	DSP Number:	08J4N
	Sheet Title:	ROOF PLAN	Set Type:	
			Date Issued:	5/30/2007
			Sheet Number:	A0.2b