



Certificate of Appropriateness Re-issue

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property 604 W. HISTORIC MITCHELL ST.
Description of work Remove existing permastone storefront material. Build new storefronts and install new windows and doors.
Date issued 10/9/2009 PTS ID 38754 COA- Re-issue

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work must be done according to approved drawings. Siding and trim must be wood. Street level storefront glass should be clear - no low-e or tinted glass.

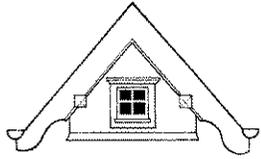
All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Carlen Hatala of the Historic Preservation staff as follows: Phone: (414) 286-5722 Fax: (414) 286-0232 E-mail: chatal@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210 or 8211.

Carlen Hatala
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Jim Witkowiak, Contractor, Inspector Dave Leonard (286-2560)

HISTORIC MITCHELL ST



Certificate of Appropriateness

LIVING WITH HISTORY

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5705

Property

604 W. HISTORIC MITCHELL ST.

Description of work

Remove existing permastone storefront material. Build new storefronts and install new windows and doors.

Date issued

2/1/2007

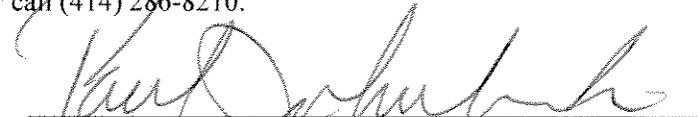
PTS ID 38754 COA, new storefront

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City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Jim Witkowiak, Inspector Greg Eighme (286-2537)

Note:
All measurements and all window sizes must be verified in field before any material is purchased or cut.

*IMPORTANT NOTE:
FIELD DRAWINGS PROVIDE THE INFORMATION NECESSARY FOR CONTRACTORS. BIDS BEFORE OBTAINING THE MEASUREMENTS. CONSULT WITH ARCHITECT TO DETERMINE WHEN APPROPRIATE. CONTACT ARCHITECT FOR RECORDS.
ARCHITECT: (414) 286-6706 FAX: (414) 286-6712

*ALL EXTERIOR WOOD FOR STOREFRONT SHOULD BE CLEAR (PREFERABLY QUARTER SAWN) WHITE OAK AND SAWNWOOD, AND NATURALLY OILY RESISTANT WHICH INCLUDES SUCH SPECIES AS CYPRESS, MAHOGANY, WHITE OAK, PINE WOOD, WESTERN RED CEDAR, ATLANTIC WHITE CEDAR.

*ALL GLAZES MUST BE CLEAR, NO LOW E OR TINTED LAMINATED GLAZES, SUCH AS SECURITY GLAZES, FILLS OR RECOMMENDED FOR ALL FIRST FLOOR INSTALLATIONS.

*WOOD WILL BE PAINTED AS SOON AS POSSIBLE AFTER COMPLETION. PLEASE NOT REPAIRS HAS SHOWN THAT WHEN BARE WOOD IS EXPOSED TO THE ELEMENTS FOR A PERIOD OF A YEAR WITHIN THE LIFE OF THE FRAME, JOINTS, SURFACES & JOINTS OVER IT, SLIDING TO BE DECREASED.

*SECOND FLOOR WINDOWS ARE WOOD. THEY ARE TO HAVE WOOD COMBINATION SYSTEM WINDOW UNITS.

RECOMMENDED CONTRACTORS

1. ANDY WERNBERG
CUSTOM CRAFT
(414) 405-1000

2. FRANZ FISCHER
F. F. FISCHER CONSTRUCTION
(414) 257-9947



**THE MILWAUKEE
PRESERVATION
PORTFOLIO**

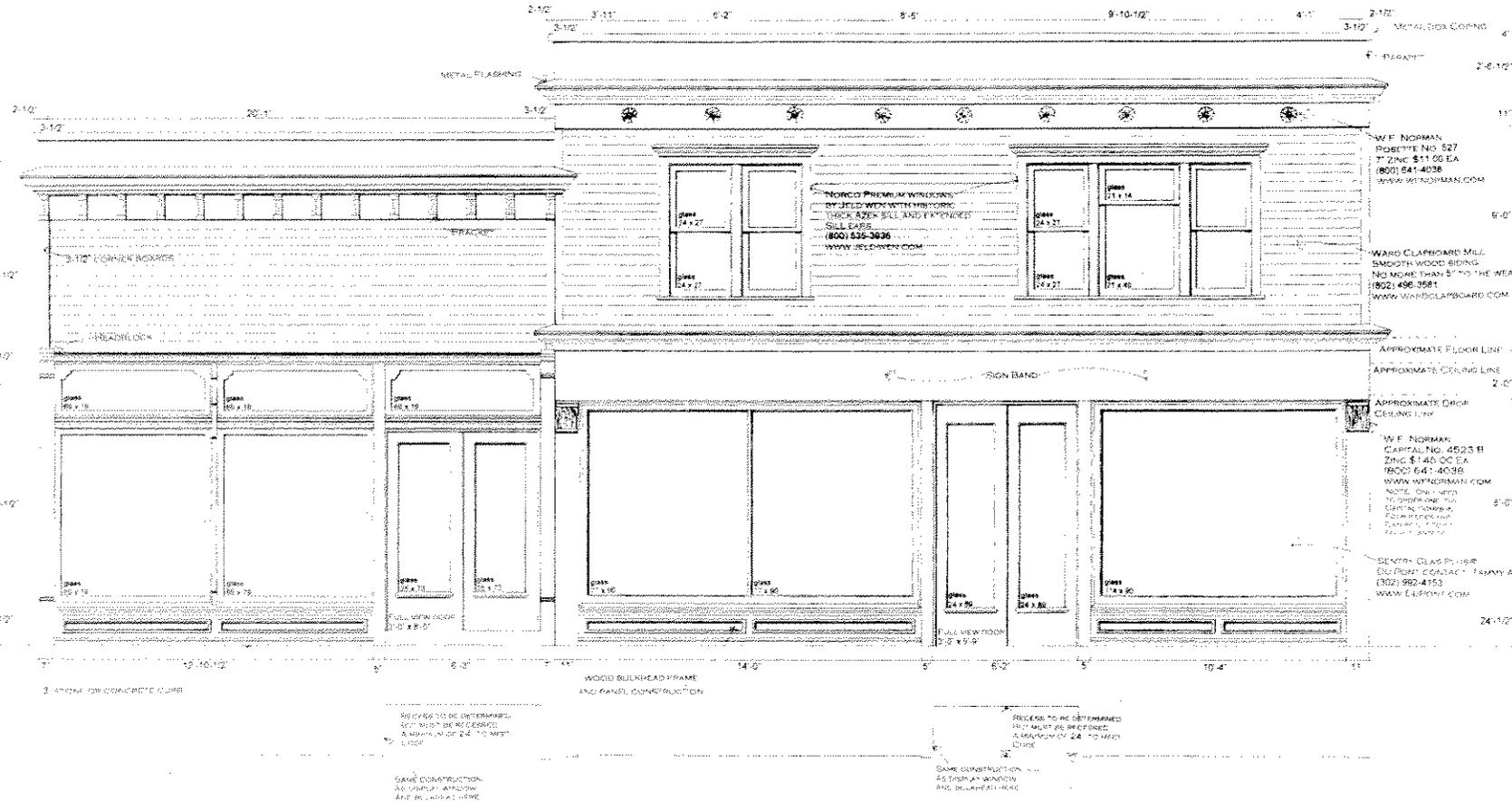
MILWAUKEE HISTORIC
PRESERVATION COMMISSION
808 N. BROADWAY
MILWAUKEE, WI 53202
(414) 286-6705

**604-608
W. Historic
Mitchell Street**

REPRODUCTION WITHOUT
PERMISSION PROHIBITED

Storefront Elevation

Scale: 1/4" = 1'-0"



W.F. NORMAN
ROBETTE No. 527
77 ZINC \$11.00 EA
(800) 641-4038
WWW.WFNMN.COM

WARD CLAMBOARD MILL
SMOOTH WOOD SIDING
NO MORE THAN 8" TO THE WEATHER
(800) 496-3581
WWW.WARDCLAMBOARD.COM

W.F. NORMAN
CAPITAL No. 4523 B
ZINC \$146.00 EA
(800) 641-4038
WWW.WFNMN.COM
NOTE: SEE ARCH
DRAWING FOR
CONSTRUCTION
DETAILS.

SEXTON GLASS PHASE
EQUIFORM CONTACT - FRAMES ANGLE
(302) 992-4153
WWW.EQUIFORM.COM

PLEASE TO BE DETERMINED
BY ARCHITECT
& APPROVED TO MEET
LINE

SAME CONSTRUCTION
AS DISPLAY WINDOW
AND BULLHEAD FRAME

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Vertical dimension lines on the left side of the drawing, indicating heights in feet and inches: 2'-0", 2'-0", 1'-0", 6'-4-1/2", 4'-1/2", 2'-0", 7'-3-1/2", 24'-1/2".

Vertical dimension lines on the right side of the drawing, indicating heights in feet and inches: 4'-0", 2'-6-1/2", 1'-0", 6'-0", 2'-0", 6'-0", 24'-1/2".

Horizontal dimension lines at the top and bottom of the drawing, indicating widths in feet and inches: 3'-1/2", 3'-11", 6'-2", 8'-5", 9'-10-1/2", 4'-1", 2'-1/2", 3'-1/2", 20'-1", 3'-1/2", 3'-1/2", 19'-10-1/2", 6'-0", 14'-0", 6'-0", 6'-0", 5'-0", 10'-4", 11'-0".